

THE ARBORs

at Scripps Ranch

Architectural Design Guidelines

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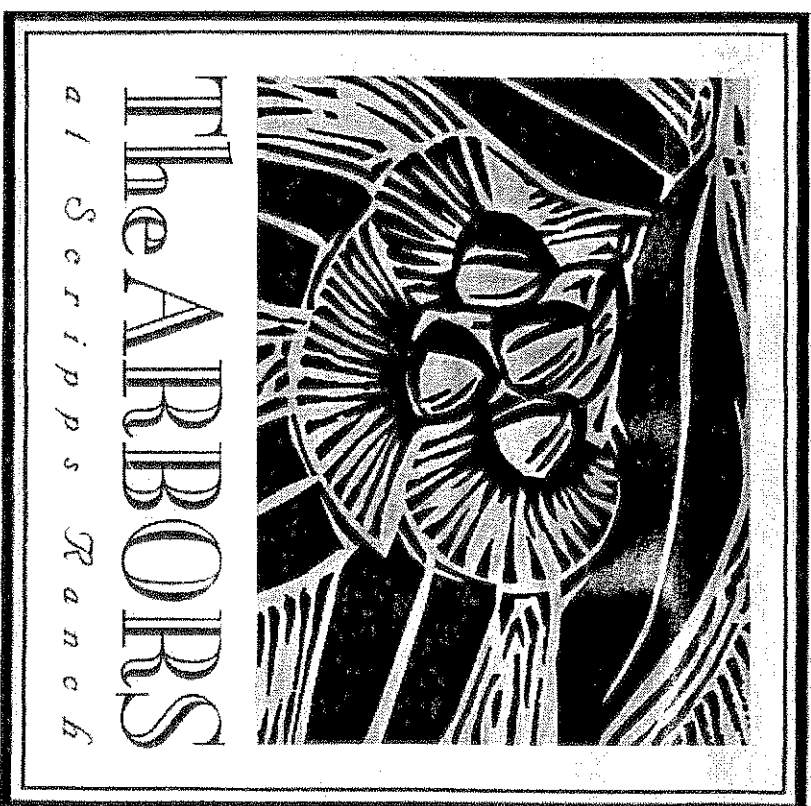


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1. Introduction

The Architectural Design Guidelines document provides a guide to the goals, standards and requirements of the Arbors at Scripps Ranch Community architectural, and exterior design. These guidelines are supplemental to the requirements indicated in the CC&Rs. The standards have been established to protect the property values and maintain a high standard of design so that the community may retain its designed character and thematic continuity over the years.

Prior to starting any home improvement project, these guidelines should be reviewed to determine if the approval of the Architectural Committee is required. Most exterior improvements require approval.

The Covenants, Conditions and Restrictions (CC&Rs) of The Arbors at Scripps Ranch provide the legal framework for the requirements placed on the homeowner and the Homeowner's Association, and provide for the establishment of the Architectural Committee. The committee is vested with the power to review and approve all improvements to residential lots and dwellings in the Arbors community. Such improvements include additions, modifications and alterations to residential dwellings, signs, fences, walls, screens, patios and patio covers and any other modification of the exterior of a dwelling or other improvements or alterations.

The Architectural Committee does not seek to restrict individual creativity or personal preferences, but rather to help assure a continuity of design which will help preserve and improve the appearance and quality of the Community.

Prior to commencement of any addition, alteration or construction work of any type, the owner must first file an application to the Architectural Committee for approval. Upon completion of the work, the Architectural Committee or its duly appointed representatives may inspect any improvement for which approval of plans are required.

Any improvements constructed without the approval of the Architectural Committee are considered a violation of the CC&Rs. Improvements will be reviewed by the committee, and may require modification, or removal at the discretion of the committee and at the expense of the owner.

In addition to the Architectural Committee approval, a building permit may be required by the City or other governmental agencies prior to the commencement of any work. The Architectural Committee does not assume any responsibility for the owner's failure to obtain such permit(s). Obtaining such permits does not waive the obligation to obtain approval from the Architectural Committee.

The Architectural Guidelines provides Standard Forms to assist the homeowners and committee in organizing the design review procedure. These forms are included at the back of this document, and should be used for any submittal to the Architectural Committee.

2. Design Review Procedure

Submittal Process

All exterior construction requires approval of the Architectural Committee. Failure to obtain the necessary approvals may constitute a violation of the Declaration of Covenants, Conditions and Restrictions.

Prior to beginning any construction work, the homeowner proposing a modification to their property must present drawings of any structure, fence, exterior addition or alteration along with the Homeowner Design Review Application (Form A) to the Architectural Committee for approval. See the letter in the appendix of this document for fees and procedures required by the property management company.

Each application will be reviewed by the Committee for conformance to the specific requirements of this manual. In addition, the proposal will be evaluated with reference to the neighborhood goals and objectives enumerated in Section 3 of the document. The intent of the review and approval by the Committee is to maintain the visual quality and aesthetics of the community. This review is not intended to approve the structural engineering in lieu of any required approval by governing agencies, or City of San Diego permits or inspections.

All requests are to be made by submitting the Homeowner Design Review Form (Form A), and Neighbor Notification Form (Form B) if required, and plans, details and specifications as listed below.

- a. A **plot plan** showing property lines and dimensions of the site and the location and size of the proposed new

construction with relationship to the property lines and the home.

- b. An illustrative **Exterior Elevation** that fully explains the appearance of the proposed structure or modification. A photo of a similar structure can be substituted in place of this elevation if it clearly represents the proposed item.

- c. **Construction Details** illustrating the design, materials, finish and colors of the proposed structure.

Three copies of the above information folded to 8-1/2" x 11" size are to be submitted for the review. The copies will be used as follows:

One copy is to be returned to the homeowner with the comments and status of the review.

One copy is to be filed with the Arbors at Scripps Ranch Architectural Committee records.

One copy is to be used by the Architectural Committee.

Drawings, fees and attached architectural approval forms shall be submitted to the Architectural Committee:

The Arbors at Scripps Ranch Homeowner Association
Architectural Committee
In care of (*until project is built out*):
Brehm Builders
2835 Camino Del Rio South, Suite 220
San Diego, CA 92108-3056

The plans will be reviewed by the Architectural Committee on the dates established by the Committee. The specific meeting dates may be obtained by calling Brehm Builders at (619) 293-7090. All plans must be received by the Architectural Committee by 5:00 p.m. on the Friday prior to the week of the Committee meeting.

At the time of completion of the work which was previously approved by the Architectural Committee, the homeowner shall forward a Notice of Completion (Form C) to the Committee.

Application Fees

A fee may be charged by the Architectural Committee for the review of the plans. This fee is to be based on the typical costs incurred in plan check. This fee may be set by the Architectural Committee with the approval of the Homeowner's Association. The committee may require an additional fee to cover costs of hiring professional consultants to evaluate the proposed modification. The applicant will be advised of this need at the initial review should the proposed improvements exceed the ability of the Architectural Committee to make a determination.

Submittal Requirements

All drawings for submittal to the Architectural Committee shall be prepared in accordance with requirements for clarity and completeness consistent with the requirements of the City of San Diego Building Department. The Architectural review process is a separate process from the building permits required by the City of San Diego. Approval by the City of San Diego does not constitute approval of the Architectural Committee and vice versa.

The following must be submitted, if applicable, to constitute a complete application:

Drawings:

Plot Plan (required for all submittals)

- Show lot lines accurately as to length, angles and curves.
- Show all dimensions of work to be considered, including distance between existing improvements and property lines.
- Drawings must show the location of the bottom of any adjacent slope and/or the top of the adjacent slope. If the slope behind your home goes up, then show the bottom of your slope as well as the top of the slope even if it lies outside the property in question. If the slope goes down, please show the top of that slope.
- Drawings shall show the nature, kind, shape, dimensions, materials, color, finish and location of the proposed improvements.
- The plot plan must be drawn to scale. The minimum sheet size requirement is 8-1/2" x 14".

Roof Plan

- Show plan of all existing and new roofs with pitches and overhangs noted.
- Show materials of all existing and new roofs.
- Indicate colors and materials.

Floor Plan

- Indicate all walls, columns, openings and any condition or feature that will affect the exterior design of the building.
- Indicate existing exterior landscape or other details affected by the improvements.

Exterior Elevation

- Indicate all exterior elevations of all buildings existing and new.

Other Information Required

- Description of materials to be used, including the proposed color scheme. Samples may be requested.
- Grading plans (if applicable) where the established drainage pattern might be altered by the proposed improvements.
- Floor plans (if applicable) showing overall dimensions and area of improvements reflecting the design concept.

Landscape Plan and Construction Drawings (if applicable)

- Indicate plants to be removed.
- Indicate proposed paving, planting and other details for construction.

Additional Requirements:

- If proposed improvements require access over the common areas or Community areas or Community facilities for the purpose of transporting labor or material, written permission shall be required from the Architectural Committee prior to the commencement of improvements.
- If the proposed improvements potentially impact lines of sight from adjacent streets, the location of these roadways relative to the proposed improvements should be indicated.

- Any other information or documentation deemed to be necessary by the Architectural Committee in reviewing the request should be included.

Neighbor Notification

It is the intent of the Arbors at Scripps Ranch Architectural Committee to consult neighbors on any improvements which may impact their use and enjoyment of their property. The "Neighbor Notification Form" (Form B) is only utilized for the purpose of gathering information in order to assist the Architectural Committee in making its final determination. All homes in the immediate surrounding area which would be affected by the construction of any improvement must be notified.

Neighbor notification is required, however neighbor approval is not. Neighbor approval or disapproval of a particular improvement shall only be advisory, and shall not be binding in any way on the Architectural Committee's decision.

The following improvements require Neighbor Notification Statement(s) (Form B) to be submitted to verify that the neighbors have been notified of the proposed improvements a minimum of 30 days prior to the review of plans by the Committee.

- Any exterior improvements that may impact the neighbors in the community
 - Home remodel or addition
 - Fences and walls
 - Decks
 - Patio covers, trellises and gazebos
 - Pools and spas
 - Solar panel
 - Satellite reception device(s)

- Dog runs
- Garden or tool sheds; (a) exceeding five (5') feet in height, (b) visible from neighboring homes, public streets, walking pathway or easements.

Approval by the Architectural Committee

The Architectural Committee shall give final approval or disapproval of a request within sixty (60) days from submission of a completed application (including all the required supporting information and documentation. In the event the Architectural committee fails to respond within sixty (60) days from receipt of your completed application, your request shall be deemed to be approved.

Failure to Comply with Required Procedures

Failure to comply with the requirements and procedures set forth herein may cause the request to be delayed pending submission of other information and documentation to the Architectural Committee and The Arbors at Scripps Ranch Homeowner Association. An incomplete application may affect the time limits of approval in favor of The Arbors at Scripps Ranch Homeowner Association.

Appeal Procedure

In the event plans and specifications submitted to the Architectural Committee are disapproved, the owner filing the application may appeal in writing to The Arbors at Scripps Ranch Homeowner Association, Board of Directors. The request must be received by the Board of Directors not more than 15 days following the final decision of the Committee. Within 45 days following receipt of the request for appeal, the Board shall render

its written decision. The Board may agree with the Committee and uphold the disapproval, or the Board may disagree with the Committee and approve the plans.

Variance

The Architectural Committee may authorize variance from compliance with any architectural provisions contained in the CC&R's or Architectural Guidelines for The Arbors at Scripps Ranch including without limitation, restrictions upon height, size floor area or placement of structures, or similar restrictions when circumstances such as topography, natural obstructions hardship, aesthetic or environmental consideration may require such variances. The granting of a variance must be evidenced in writing, must be signed by a majority of members of the Architectural Committee, and should be recorded in the Office of the County Recorder of the County. If such variances are granted, no violation of the CC&R's shall be deemed to have occurred with respect to the matter for which the variance was granted. Granting of the variance from the Architectural Committee does not in any way correspond to or relieve the homeowner of securing any variances, use permits, etc. as required by the City and/or County of San Diego.

Inspection of Improvements

Upon completion of construction, the homeowner shall submit a "Notice of Completion" (Form C). Following the receipt of the "Notice of Completion", the Committee has sixty (60) days in which to inspect the improvements made and to verify that they are in conformance with the approved plans. If it is determined that the work completed was done without approval or not within substantial conformance to submitted plans, the Committee shall notify the Owner within thirty (30) days from the date of

inspection (Notice of Non-Compliance) requesting compliance within thirty (30) days. If the Owner fails to remedy the non-compliance, the Architectural Committee shall notify the HOA Board in writing, giving an estimate of the cost of correcting or removing the items found in non-compliance. The Board of Directors, after notice and hearing, may remove or remedy the non-compliance within thirty (30) days of delivering the Board's ruling to the Owner. The Owner shall be responsible for all expenses incurred in connection with this action as outlined in the CC&R's.

Right to Adopt Additional Architectural Standards

The Board of Directors may, from time to time, adopt and promulgate additional Architectural Standards to be administered through the Architectural Committee. Copies of such additional Architectural Standards, together with any rules or regulations adopted and promulgated by the HOA Board of Directors and/or the Architectural Committee, shall be on file in the principal office of the HOA.

Review of Proposals of Prospective Owners of Property

Prospective owners of property within The Arbors at Scripps Ranch have the right to submit architectural plans for preliminary approval. Such submissions shall follow the procedure already outlined for all homeowners within.

At close of escrow, the owner will notify the Architectural Committee in writing of the intention to commence work on preliminary approved plans and certify that the plan as previously submitted will not be changed.

Additional Requirements

When construction work requires the use of adjoining property, the applicant shall obtain written permission from the adjoining property owner. A copy of this letter shall be filed with the Request for Architectural Approval (Form A).

All work must be performed in a manner consistent with the standards of the general dwelling construction and appearance of the community. All work considered to be of an unsightly finished nature or of lesser quality than the prevailing community standards shall be reworked to an acceptable appearance at owners sole expense.

Failure to obtain necessary approval from The Arbors at Scripps Ranch Homeowner Association shall constitute a violation of the CC&R's and may require modifications or removal at homeowner's sole expense.

Conditions Not Defined

Any condition or material not defined within this guideline shall become a matter or review on the part of the Architectural Committee.

3. Introduction to Arbors Design Themes

Neighborhood Description

The Arbors at Scripps Ranch is an 86 acre single family residential community located within the Scripps Miramar Ranch Community Planning Area in the City of San Diego. The neighborhood is set in an area of ridges and canyons vegetated with Eucalyptus trees and native Chaparral. The access to the Arbors is through an established neighborhood of generously spaced, expansive homes set in lushly landscaped yards. Groves of Eucalyptus trees have been planted in the Scripps Ranch area over the last century and present the predominant visual theme in both distant and middleground views. The combination of rolling topography and hills clad in Eucalyptus give this community its special character.

Exterior Guideline Goals

The goal of the Exterior Design Guidelines is to provide an understanding of the design philosophies, objectives, styles, parameters and restrictions so that the quality appearance of the project can be maintained and enhanced as the neighborhood matures. Maintaining a high standard of exterior improvements will enhance the value of the neighborhood and the individual homes. This manual provides a standard for exterior improvements that can be applied by the Homeowner's Association through the Architectural Committee. The manual provides graphic examples and defines measurable criteria for evaluation of resident's proposals for exterior improvements.

Community Design Goals

Throughout the planning process a great deal of effort has been made to establish a strong community character that harmonizes with the site and its unique features. To enhance and promote the intended design, an understanding of the goals of that design is necessary.

The goals of The Arbors community design include the following:

- A. Encourage the establishment and long term maintenance of an attractive appearance in conformance with the design themes of the Arbors neighborhood.
- B. Promote, enhance and protect views available from each lot and from public streets.
- C. Encourage the use of Eucalyptus species where possible to enhance the connection with community identity.
- D. Provide continued observance of the location and intent of the brush management zones to maintain effective fire buffers.
- E. Maintain a continuity of design throughout the Arbors neighborhood while promoting the individual personality of each home within the community design framework.

Guideline Flexibility

It must be recognized that changes may occur with the passage of time. These regulations should allow flexibility to the extent that a change is permissible when it is in the best interest of the neighborhood. Consequently, minor variations to these regulations may be allowed when approved by the Architectural

Committee if the changes are consistent with the goals and will enhance the overall appearance of the neighborhood.

It should be noted that the model homes may vary from the criteria established in this manual.

Architectural Styles

The architecture emphasizes design styles that reflect the upscale elegance of the community. The architectural designs of the homes can be categorized by the following styles:

Santa Barbara/Mission Style

This style is developed from the villas of the Mediterranean and estates built during the 1920's and 1930's in Santa Barbara and other areas of southern California. It is characterized by simple eaves, tile roofs, simple smooth stucco forms with a feeling of substantial mass, deep openings and restrained use of very distinctive design elements. Landscaping typically is comprised of a variety of subtropical and tropical foliage and flowering plants such as bird of paradise, bougainvillea, palms and other emphatic plants in combination with foundation shrubs and occasional small neat hedges defining edges. Hardscape typically includes tile or unit pavers as an accent.

European Country (Country Cottage and Country French)

These styles are derived from the French and English country houses popular in California in the 1920's and 1930's. Roofs are steeper than other styles and may be composed of a variety of gables, dormers and hip roofs. Gardens typically combine the formality of tidy hedges with exuberant floral or foliage displays. Planting themes support the European motif by emphasizing cool climate trees and shrubs such as pines, and deciduous trees with fall color. Both formal plantings and informal groupings of plants

are appropriate to create a gentrified or country setting. Hardscape shapes are typically carefully articulated and geometrical, but may take on a freeform air when creating a country garden motif. Brick, tile, and natural stone paving materials are appropriate, as well as gravel or aggregate garden paths.

Exterior Design Guideline Criteria

The criteria used to prepare these guidelines is a combination of design principles and themes with the criteria and restrictions imposed by City Codes, Ordinances (grading, landscaping and brush management), and the interpretation of the objectives set forth in the Community Plan, Supplemental Development Data, and the Conditions of Approval for the subdivision. This document should be used in combination with the project CC&R's. The following documents provide additional understanding of the Arbors Community:

- Scriptts Miramar Ranch Community Plan
- Environmental Impact Report (EIR)
- Tentative map and Conditions of Approval
- Planned Residential Development Permit
- City of San Diego Zoning Ordinance
- Supplemental Development Data for Spring Canyon
- Erosion Control Landscape Plans
- The Arbors Fence Plans
- The Arbors Street Tree Plans
- Brush Management Plans
- Covenants Conditions and Restrictions (CC&R's)
- Hillside Review Overlay Zone
- Hillside Design and Development Guidelines
- City of San Diego Landscape Regulations - User's Guide
- City of San Diego Landscape Technical Manual

4. Walls, Fences and Gates

One of the key visual elements of Spring Canyon will be the walls and fencing enclosing the private rear yards. Fences and walls provide a barrier to provide security, privacy, and enclosure. These elements are visible from the street, and must be carefully sited to provide privacy, while avoiding blocking views. It is desirable that these elements provide continuity in design to avoid a haphazard clutter of material and designs. The design details provided in the following pages provide several alternative designs to be used to respond to a variety of needs and site conditions.

Proposed walls and fences must be submitted to the Architectural Committee for approval prior to construction. Walls and fences shall be constructed in conformance with the details provided herein.

Solid Masonry Wall (Figures A & B):

A six foot (maximum) high solid wall provides privacy, sound attenuation and a clear division of space. All front yard fences are required to be of this type to maintain continuity throughout the neighborhood. This wall type can potentially interfere with key views, and consequently is not permitted in the view preservation zone defined for each home. This wall type controls animals and meets pool enclosure requirements.

Tubular Steel Fence (Figure D):

This is a 6' high (maximum) open fencing element. The fence is used where an enclosure is needed within the view preservation zone. The vertical bars are designed to be less than 4" apart allowing this fence to meet the requirements for a pool enclosure.

View Wall (Figures E & F):

This is a maximum six foot enclosure constructed of a combination of tubular steel over a maximum 2' masonry wall. The view wall combines the function of enclosure, privacy, and allows preservation of views. This wall type can be constructed within the view preservation zone. It has the advantage of controlling small animals. It also meets the requirements for residential pool enclosures.

View Windscreen (Figures G & H):

This wall type combines tempered glass over a masonry wall to allow views to be preserved while providing wind control and sound attenuation. It is especially suited to windy sites combining pools and views. It meets the requirements for residential pool enclosures and controls animals. This type of fence is allowed only on unshared fence lines, unless approved by both adjoining homeowners sharing the fence.

Gates (Figures I & J):

Two sizes of wood gates are available for installation in the solid masonry walls:

- A three foot wide gate allows easy pedestrian access to the rear yard (See Figure I).
- A pair of 4' wide gates provides an 8' wide access to the rear yard. This allows access to the rear yard for construction of pools or other garden features (See Figure J).

Where gates are necessary in the tubular steel fences, view wall and sound/wind screen wall, the gates should be constructed of tubular steel to match the tubular steel fence.

Where pools or spas are to be installed, the gates are required to be self closing and self latching in conformance with the City requirements for residential pools. It should also be noted that

while the view fence and the view wall meet the City's requirements for single family residential pool enclosures, these wall types are more easily climbed than the masonry wall or the tubular steel fence due to the potential foothold at the top of the masonry portion of the wall.

Masonry Pilasters (Figures C & K):

Solid masonry pilasters matching the other masonry walls define the property line intersections and allow the termination of several fencing directions or types. Pilasters should be located at each property line intersection, at front and rear of back yards (Figure K). Pilaster locations should conform to the criteria set forth in the City's Municipal Code 101.0620 - Fences.

Wood Fences:

Wood fences are not permitted in the Arbors community.

Wall and Fence Locations (Figure M)

Walls and fences shall be located as indicated on the wall and fence plan produced for each phase of construction. The locations are determined by field review and take into consideration the building locations, neighboring home locations, key views, neighbor's view corridor, utility locations, topography and grading. The location of each wall or fence is indicated as well as the required type of fence permissible.

All front yard fencing shall be the solid masonry wall type with one 8' wide access gate and/or one 3' wide pedestrian gate per lot.

Side yard fencing shall be the solid masonry wall typically extending 10' to the rear of the furthest setback rear house wall measured perpendicular to the property line. The end point of the

wall defines the origin of the view preservation zone (see Figure X).

All rear yard fencing and side yard fencing in the view preservation zone shall be of the following open designs:

- Tubular Steel Fence
- View Wall
- Windscreen Wall

Pilasters shall be located at the property line at the point of side yard wall closest to the street or at rear yard as shown in Figures K, M, and X.

View Preservation Zone

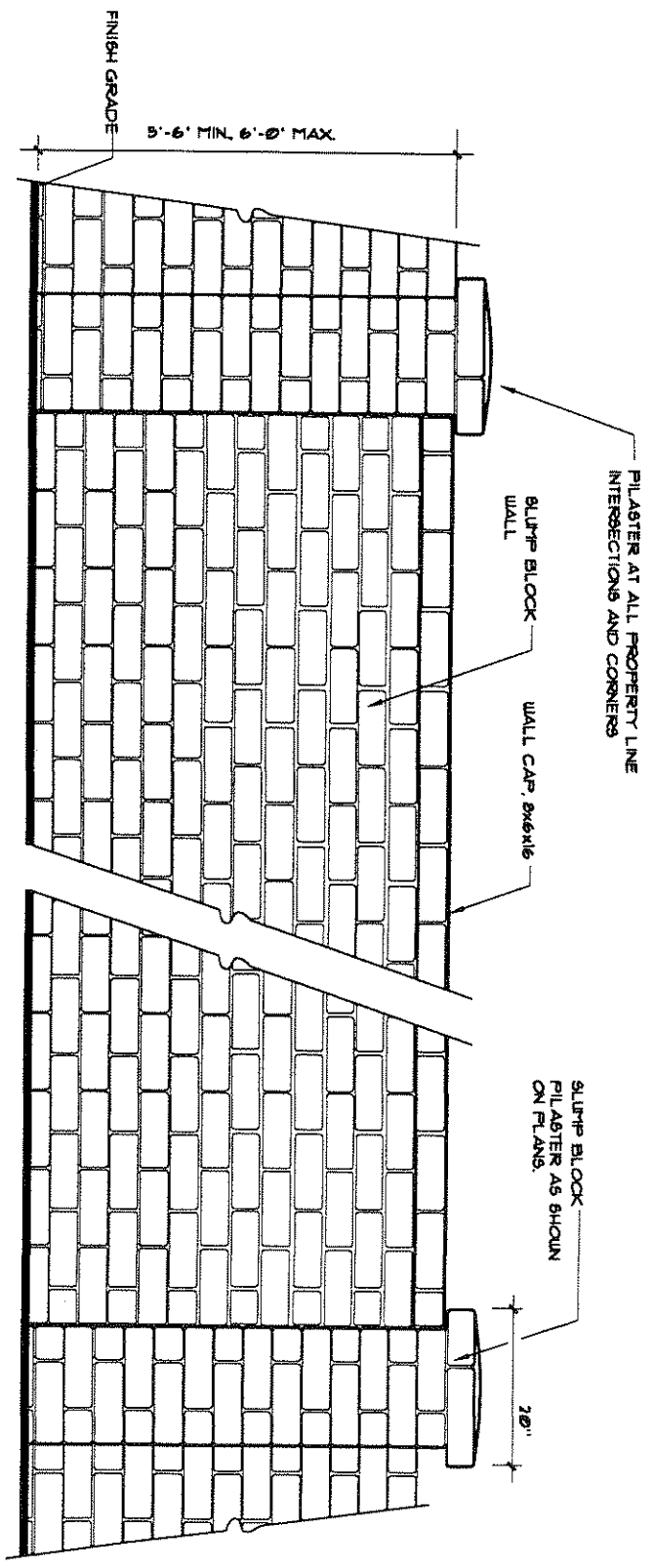
To protect views angling from neighboring homes, view preservation zones have been established for each lot. The zone is defined from the end of the solid masonry wall. It is the area within the angle described by a line 45° to the side yard property line originating at the rear end of the masonry wall (see Figure X).

Within the view preservation zone the fencing is required to be an open type including tubular steel fence, view wall, or windscreen wall.

The planting within the view preservation zone is limited as described in the Landscape Design Section on page 42.

Wall and Fence Maintenance

The front and rear yard fences are to be maintained in an attractive, clean and painted condition by the homeowner. The maintenance of shared side yard fences is to be shared between adjoining homeowners.



ELEVATION

- NOTES:
1. ALL EXPOSED WALL SURFACES SHALL RECEIVE A MORTAR WASH FINISH AND TWO COATS OF FLAT EXTERIOR PAINT. COLOR SHALL BE PER SECTION II OF THIS DOCUMENT. PROVIDE SAMPLE OF FINISH AND COLOR PRIOR TO CONSTRUCTION.
 2. LOCATE COLUMNS AT PROPERTY LINE INTERSECTIONS AT FRONT AND BACK OF LOT OR WHERE SHOWN ON FENCE PLANS (TYPICAL) PER FIGURE K.
 3. WALL STEPS SHALL BE LOCATED AT PILASTERS WHERE POSSIBLE.
 4. EXPANSION JOINTS SHALL BE LOCATED 50' ON CENTER VERTICAL AND AT PILASTERS.

FIGURE A
 SOLID MASONRY WALL - ELEVATION
 PAGE II

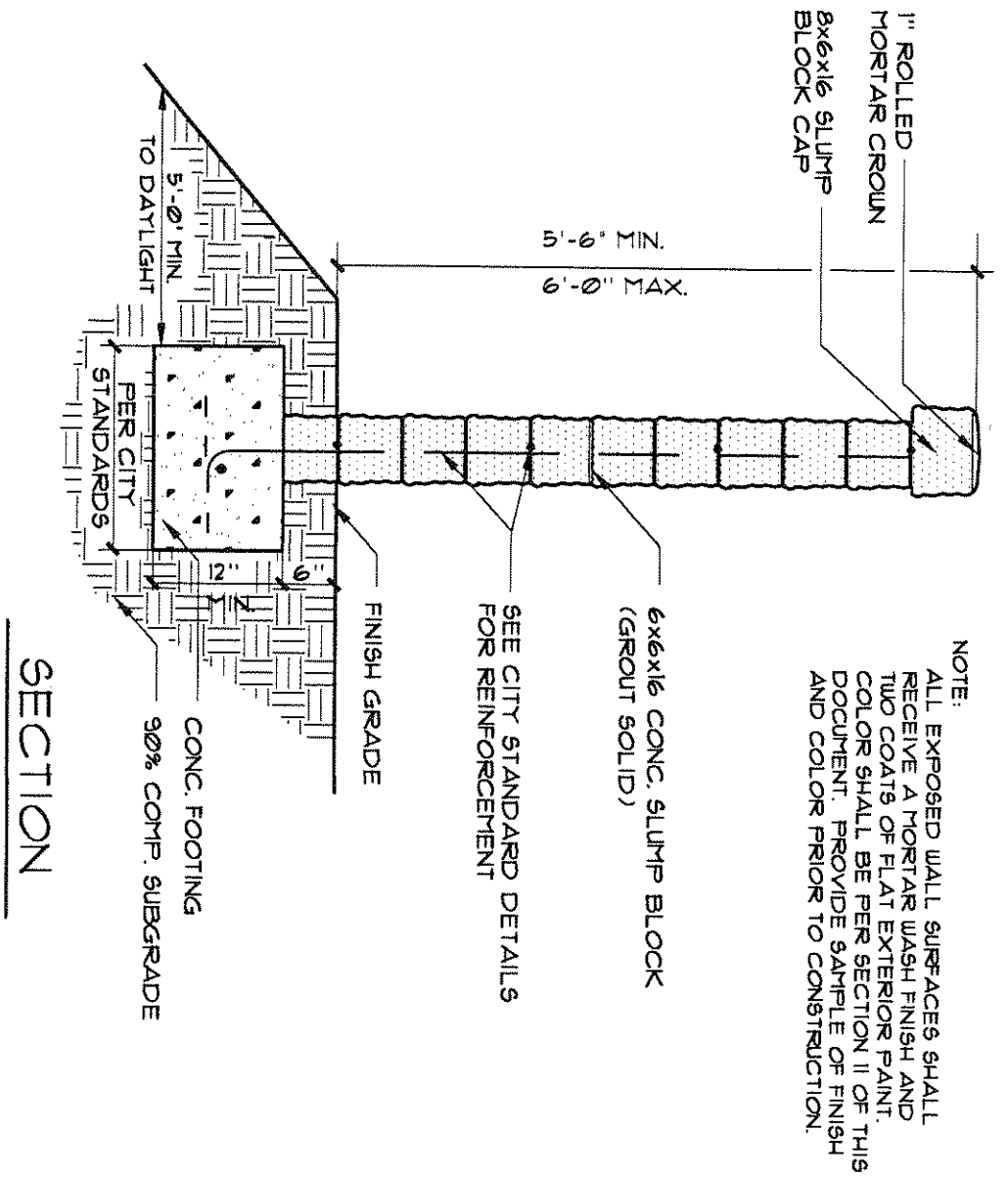


FIGURE B
SOLID MASONRY WALL - SECTION
PAGE 12

- NOTE:
1. ALL EXPOSED SURFACES SHALL RECEIVE A MORTAR WASH FINISH AND TWO COATS OF FLAT EXTERIOR PAINT. COLOR PER SECTION II OF THIS DOCUMENT. PROVIDE SAMPLE OF FINISH AND COLOR PRIOR TO CONSTRUCTION.
 2. LOCATE COLUMNS AT PROPERTY LINE INTERSECTIONS AT FRONT AND BACK OF LOT OR WHERE SHOWN ON FENCE PLANS, TYPICAL. SEE ALSO DETAIL K.

PILASTER TO BE LOCATED ON THE LOT WITH THE HIGHER PAD ELEVATION

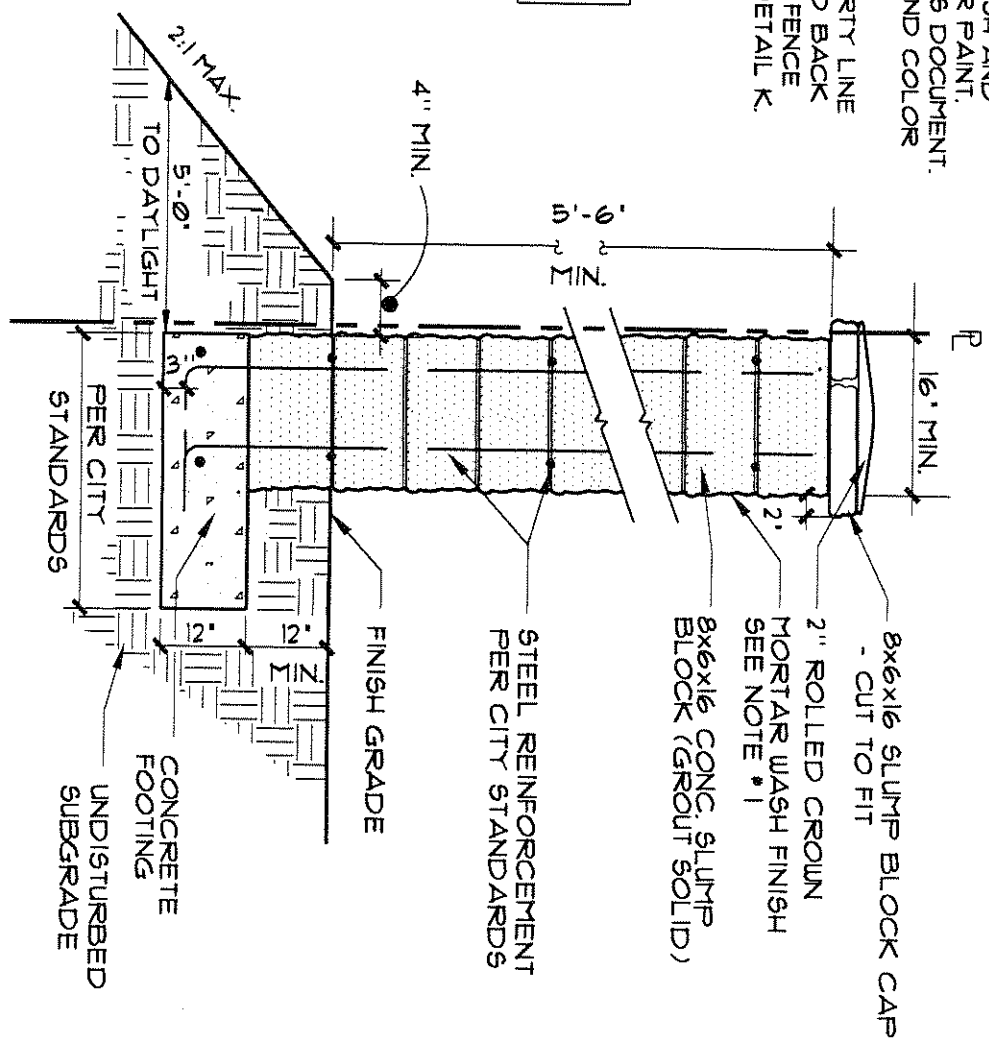
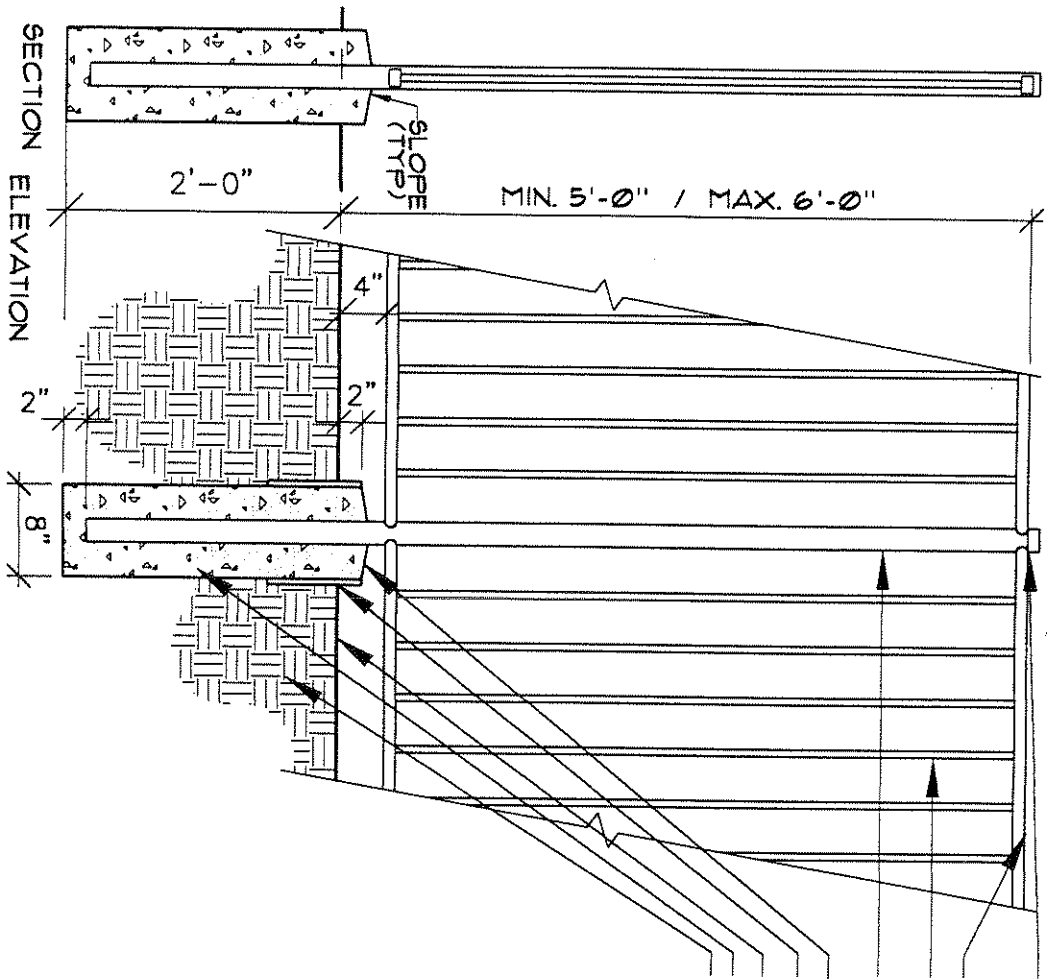


FIGURE C
 MASONRY PILASTER
 PAGE 13



C&B METAL EXTERNAL CAP HD GALV. ON POST

1 1/4" OD. GALV. ROUND TUBING TOP AND BOTTOM RAILS

106 OD. ROUND GALV. TUBING PICKETS
4 1/4" O.C. (GAP NOT TO EXCEED 4")

2" SQUARE GALV. TUBING POSTS
8" O.C. MAX.

SLOPE AND SMOOTH CONCRETE FOR DRAINAGE AWAY FROM POST

4" HT. x 8" DIA FORM

FINISH GRADE

CONCRETE FOOTING EMBEDDED IN MIN. 90%
COMPACTED FILL OR UNDIST. GRADE

STEEL:

ALL RAILS, PICKETS AND POSTS SHALL BE PRE-GALVANIZED
STEEL WITH THE FOLLOWING FACTORY APPLIED COATINGS
PRIOR TO MANUFACTURING PANELS:

1. A GRAY INTERIOR RUST PREVENTATIVE COATING
2. IN-LINE HOT DIPPED GALVANIZED ZINC COATING (5 MIL)
3. A CLEAR COATING OF MELAMINE POLYESTER (5 MILS.)

PANEL MANUFACTURE:

1. ALL WELDS SHALL BE SMOOTH, EVEN, AND COMPLETE.
2. ALL WELDS SHALL BE REJUVENATED WITH A HAND
BRUSHED COLD GALVANIZED PROCESS.

FINISH COATING:

1. BASE COAT SHALL BE 20 MILS THICK COAT
OF A TWO-PART HIGH SOLID EPOXY PRIMER
2. TOP COAT TO BE 20 MILS. THICK OF TWO
PART ALIPHATIC POLYURETHANE.

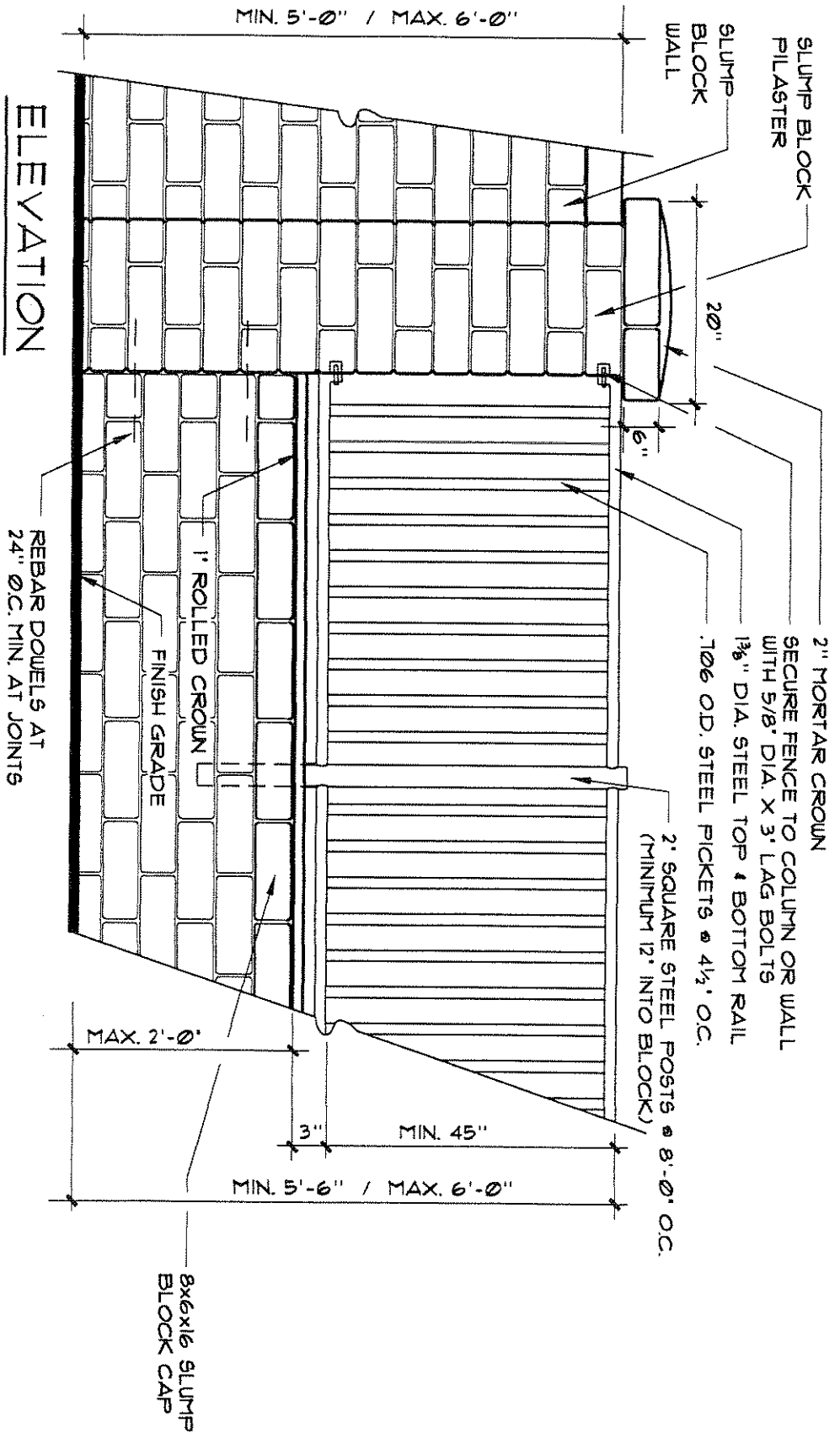
PANEL INSTALLATION:

- A. USING MOUNTING BRACKET:
1. SEAL EACH CONNECTOR WITH A BEAD OF SILICONE
TO PREVENT MOISTURE FROM ENTERING THE RAIL.
2. AFTER SILICONE IS DRY, TOUCH UP ALL SCREWS,
SCRATCHES AND SILICONE WITH PROPER PAINT.
- B. USING A WELDED APPLICATION:
1. ALL WELDS SHOULD BE COMPLETE AND SMOOTH.
2. REMOVE ALL SLAG AND SPATTER.
3. HAND BRUSH A COLD GALVANIZED COATING ON ALL
FIELD WELDS (ALLOW APPROX. 24 HRS. TO DRY).
4. COAT ALL GALVANIZE WITH A CLEAR PLASTIC
OR URETHANE (ALLOW TO DRY).
5. PRIME ALL WELDS,
6. PAINT ALL WELDS, NICKS, AND SCRATCHES
WITH A PROPER PAINT TO MATCH FENCE COATING.

NOTES:

ALL MATERIALS SHALL BE COMPATIBLE.
WHERE REQ'D, SECURE FENCE TO MASONRY
WALL W/ 3/8" DIA. LAG BOLTS AND
MASONRY ANCHORS AND CAULK JOINT.

FIGURE D
TUBULAR STEEL FENCE
PAGE 14



NOTE: TUBULAR STEEL SHALL CONFORM TO NOTES ON TUBULAR STEEL FENCE DETAIL.

FIGURE E
VIEW WALL - ELEVATION
PAGE 15

SECTION

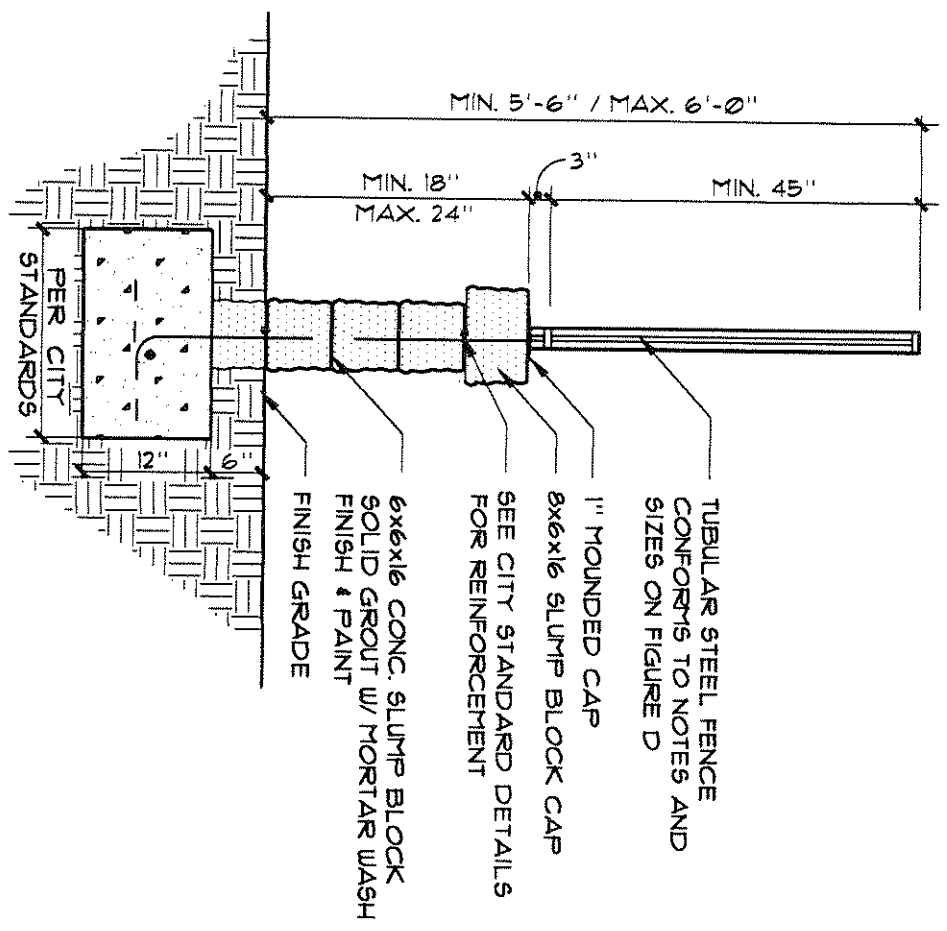
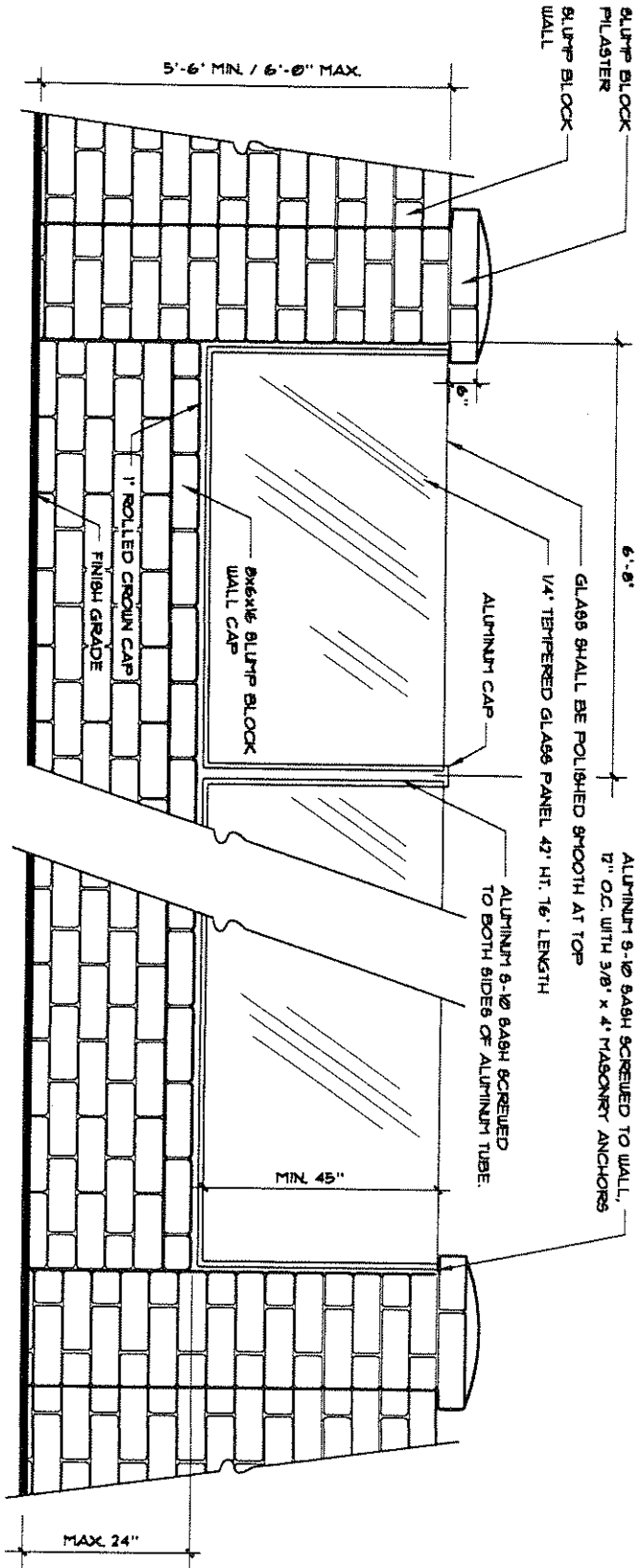


FIGURE F
VIEW WALL - SECTION
PAGE 16

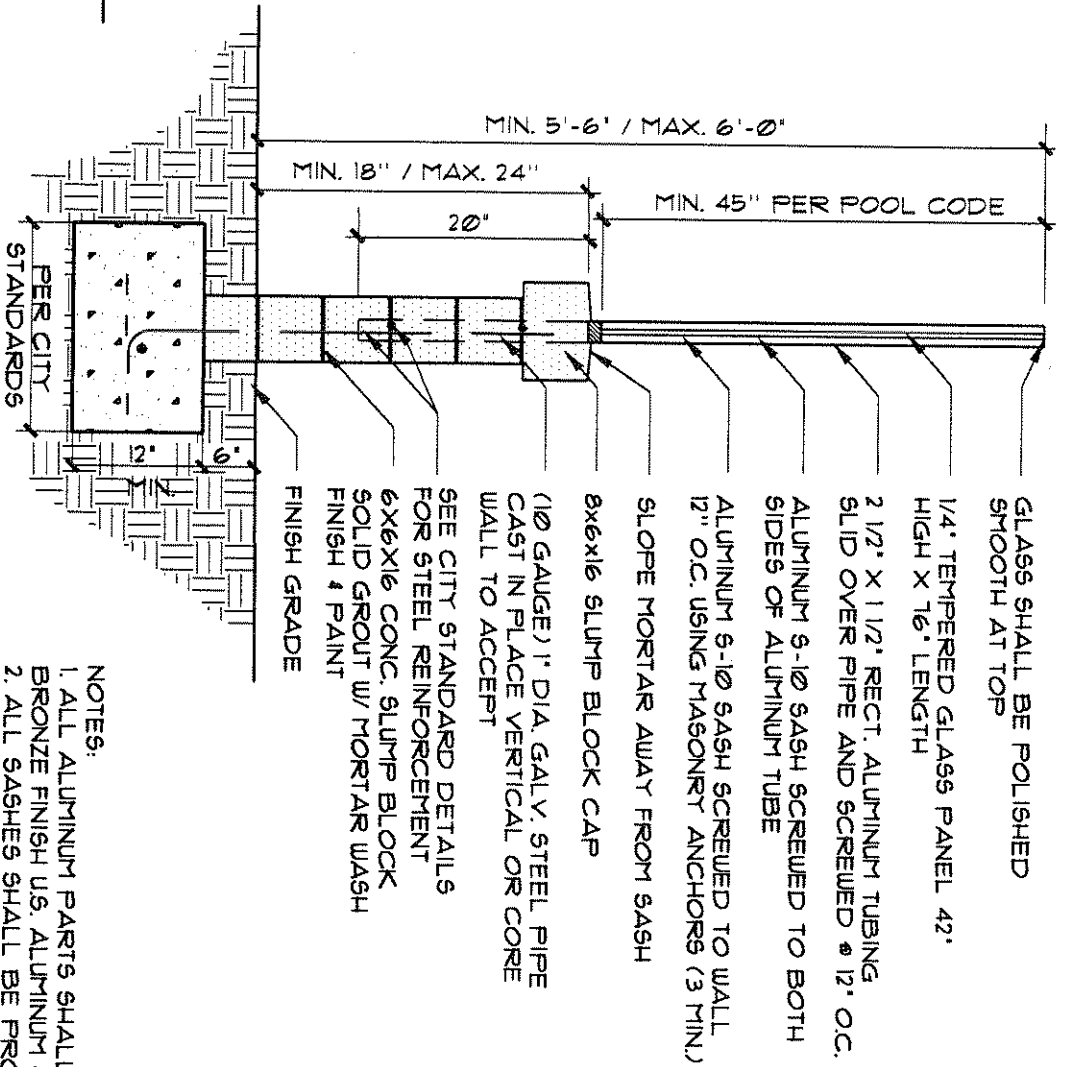


ELEVATION

- NOTE:
1. ALL ALUMINUM PARTS SHALL BE DARK ANODIZED BRONZE FINISH U.S. ALUMINUM OR EQUAL.
 2. ALL GAUGES SHALL BE PROVIDED WITH NEOPRENE GASKET STRIP SEAL.
 3. WALLS SHALL BE CONSTRUCTED IN CONFORMANCE WITH NOTES FOR ALUMINUM BLOCK WALL DETAIL.

FIGURE G
VIEW WINDSCREEN - ELEVATION
PAGE 17

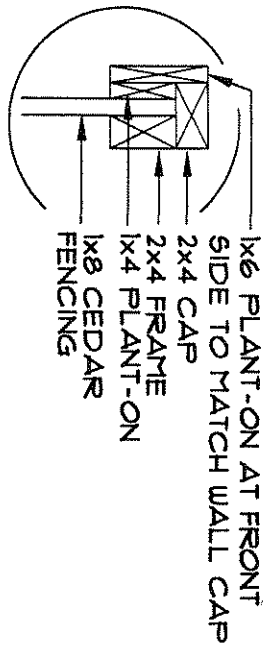
SECTION



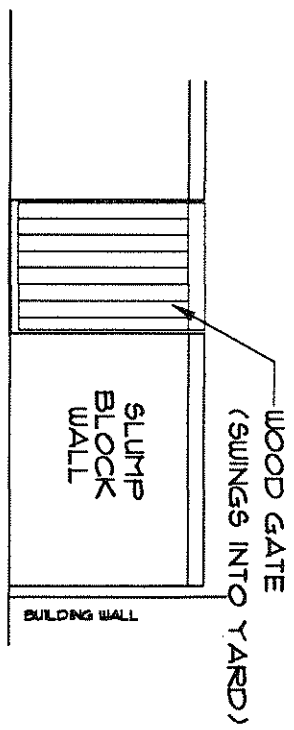
- GLASS SHALL BE POLISHED SMOOTH AT TOP
- 1/4" TEMPERED GLASS PANEL 42" HIGH X 16" LENGTH
- 2 1/2" X 1 1/2" RECT. ALUMINUM TUBING SLID OVER PIPE AND SCREWED @ 12" O.C.
- ALUMINUM 5-10 SASH SCREWED TO BOTH SIDES OF ALUMINUM TUBE
- ALUMINUM 5-10 SASH SCREWED TO WALL 12" O.C. USING MASONRY ANCHORS (3 MIN.)
- SLOPE MORTAR AWAY FROM SASH
- 8x6x16 SLUMP BLOCK CAP
- (10 GAUGE) 1" DIA. GALV. STEEL PIPE CAST IN PLACE VERTICAL OR CORE WALL TO ACCEPT
- SEE CITY STANDARD DETAILS FOR STEEL REINFORCEMENT
- 6x6x16 CONC. SLUMP BLOCK SOLID GROUT W/ MORTAR WASH FINISH & PAINT
- FINISH GRADE

- NOTES:
1. ALL ALUMINUM PARTS SHALL BE DARK ANODIZED BRONZE FINISH US. ALUMINUM OR EQUAL.
 2. ALL SASHES SHALL BE PROVIDED WITH NEOPRENE GASKET STRIP SEAL.
 3. WALLS SHALL BE CONSTRUCTED IN CONFORMANCE WITH NOTES FOR SLUMP BLOCK WALL DETAIL.

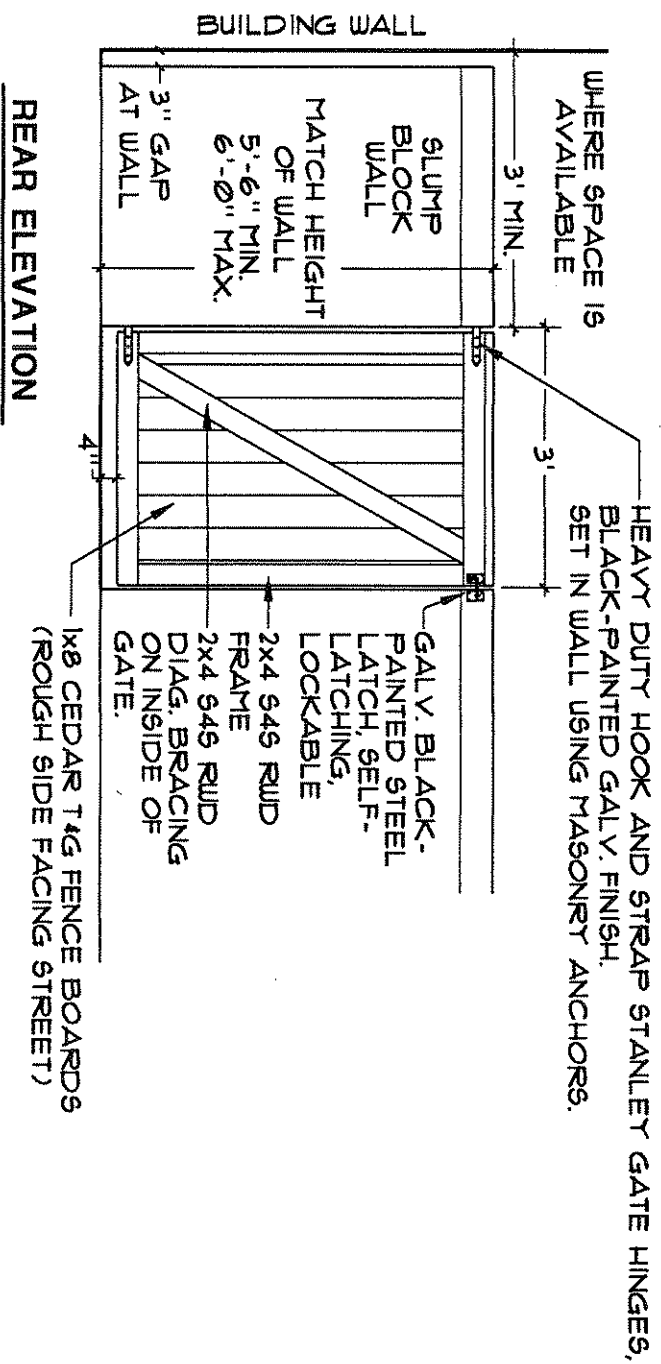
FIGURE H
VIEW WINDSCREEN - SECTION
 PAGE 18



SECTION
TOP OF GATE



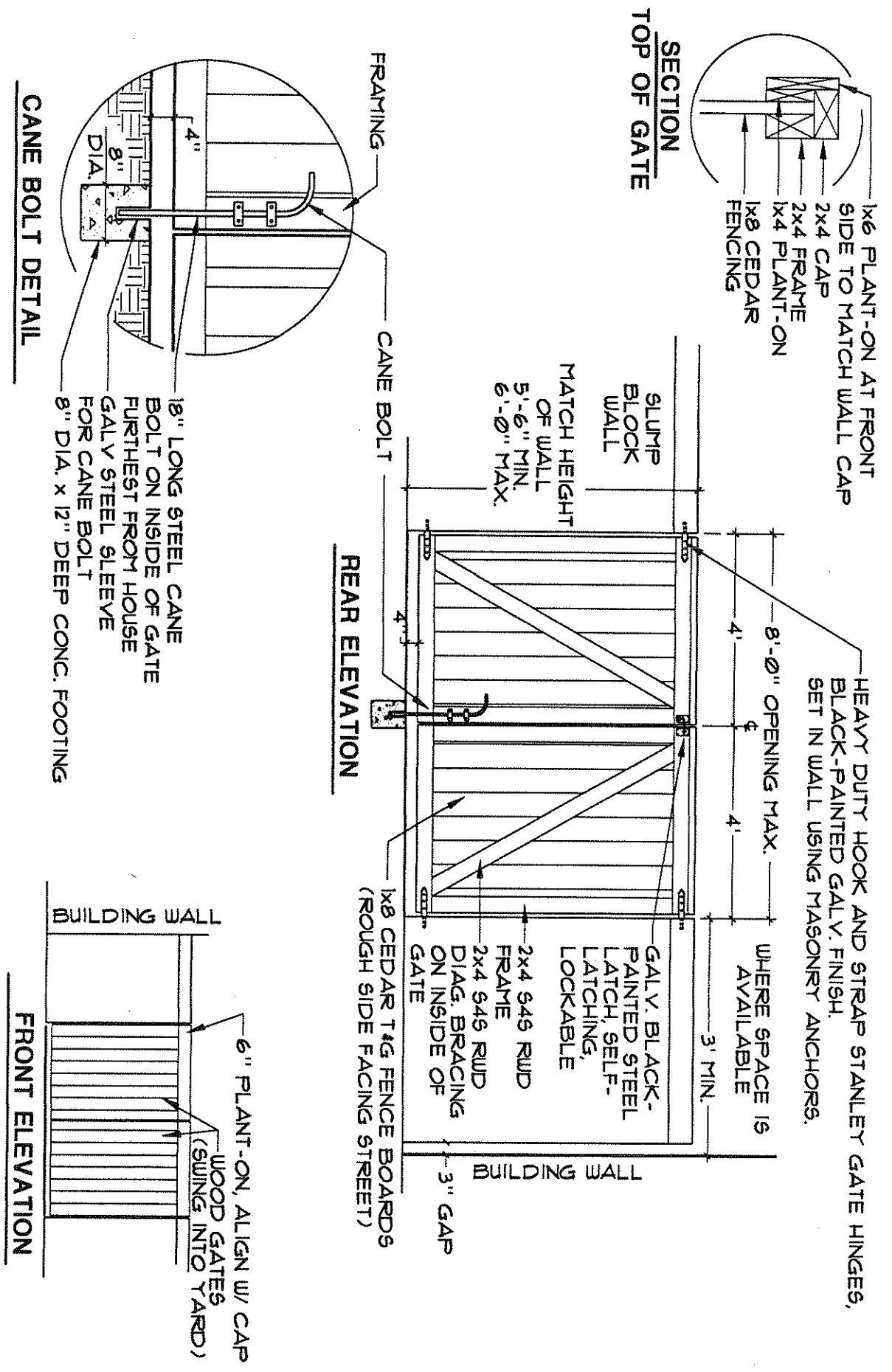
FRONT ELEVATION



REAR ELEVATION

NOTE: PRIME AND PAINT WITH
2 COATS OF PAINT, COLOR PER PAGE 38.

FIGURE I
3' ACCESS GATE
PAGE 19



NOTE: PRIME AND PAINT W/ 2 COATS
 PAINT. COLOR PER PAGE 38.

FIGURE J
8' ACCESS GATES
 PAGE 20

NOTE:
FOOTING SHALL BE 5' FROM SLOPE
DAYLIGHT AS INDICATED ON FIGURE C.

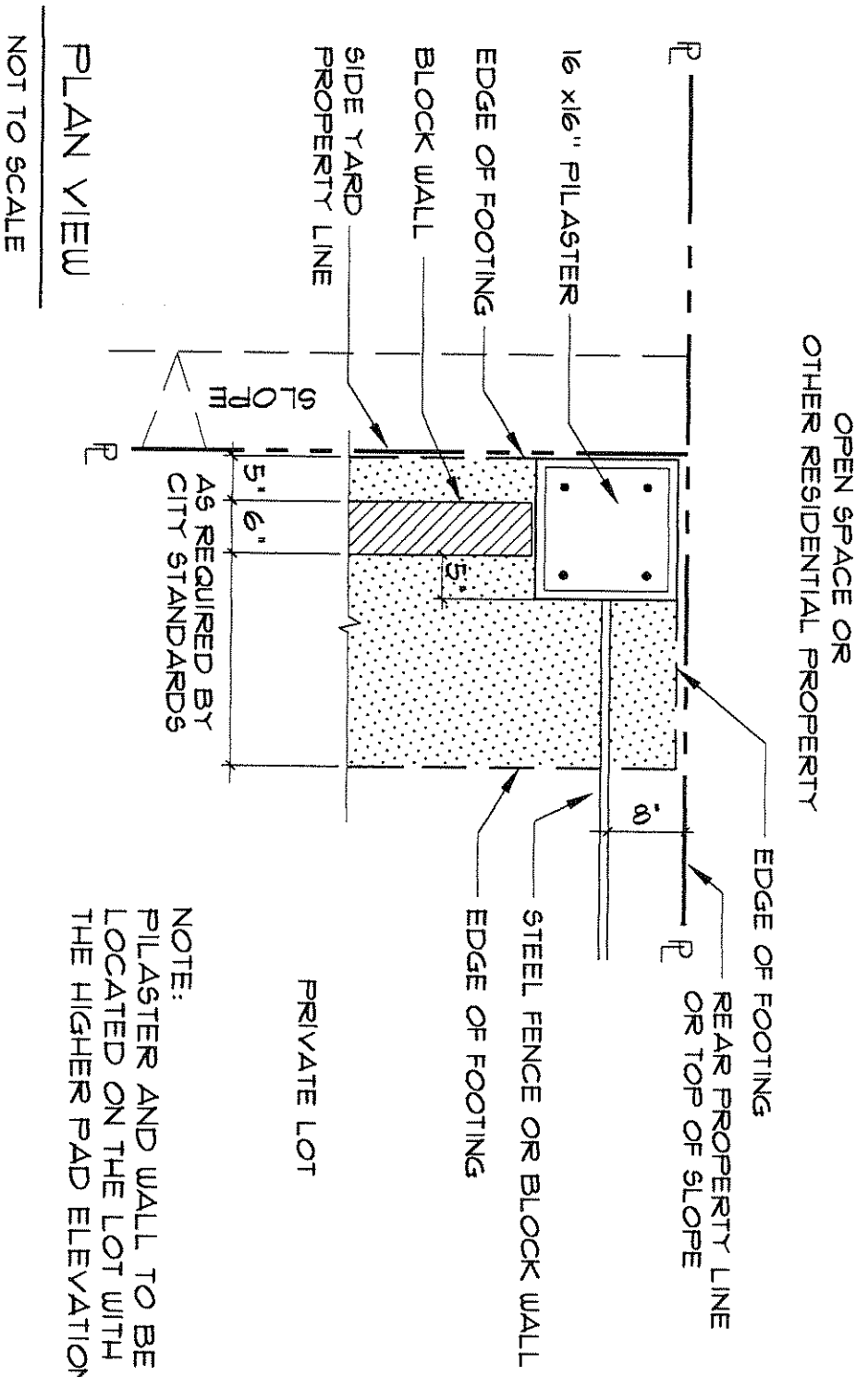


FIGURE K
PILASTER, FENCE AND WALL LOCATION
PAGE 21

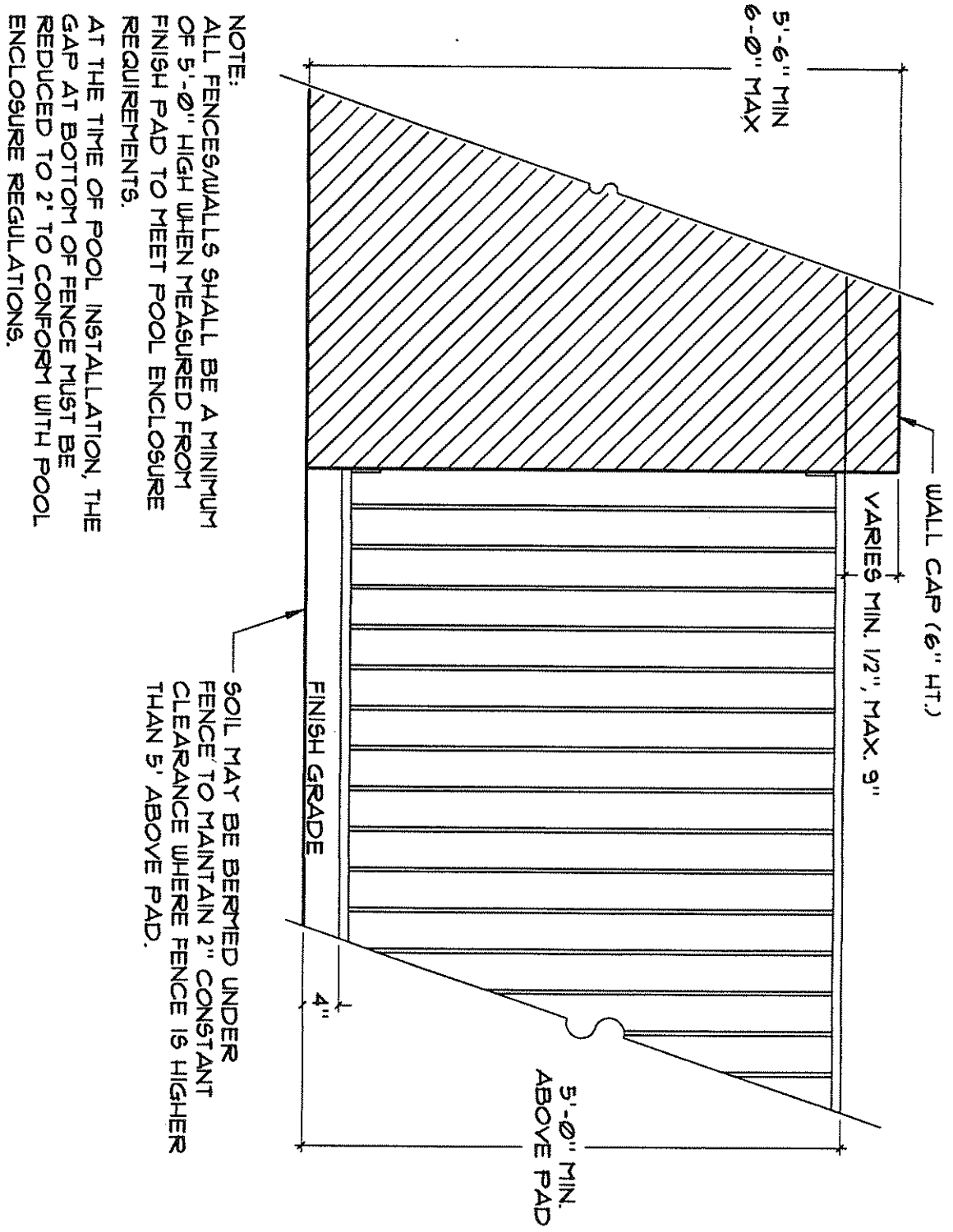


FIGURE L
WALL AND FENCE AT SIDE YARD
PAGE 22

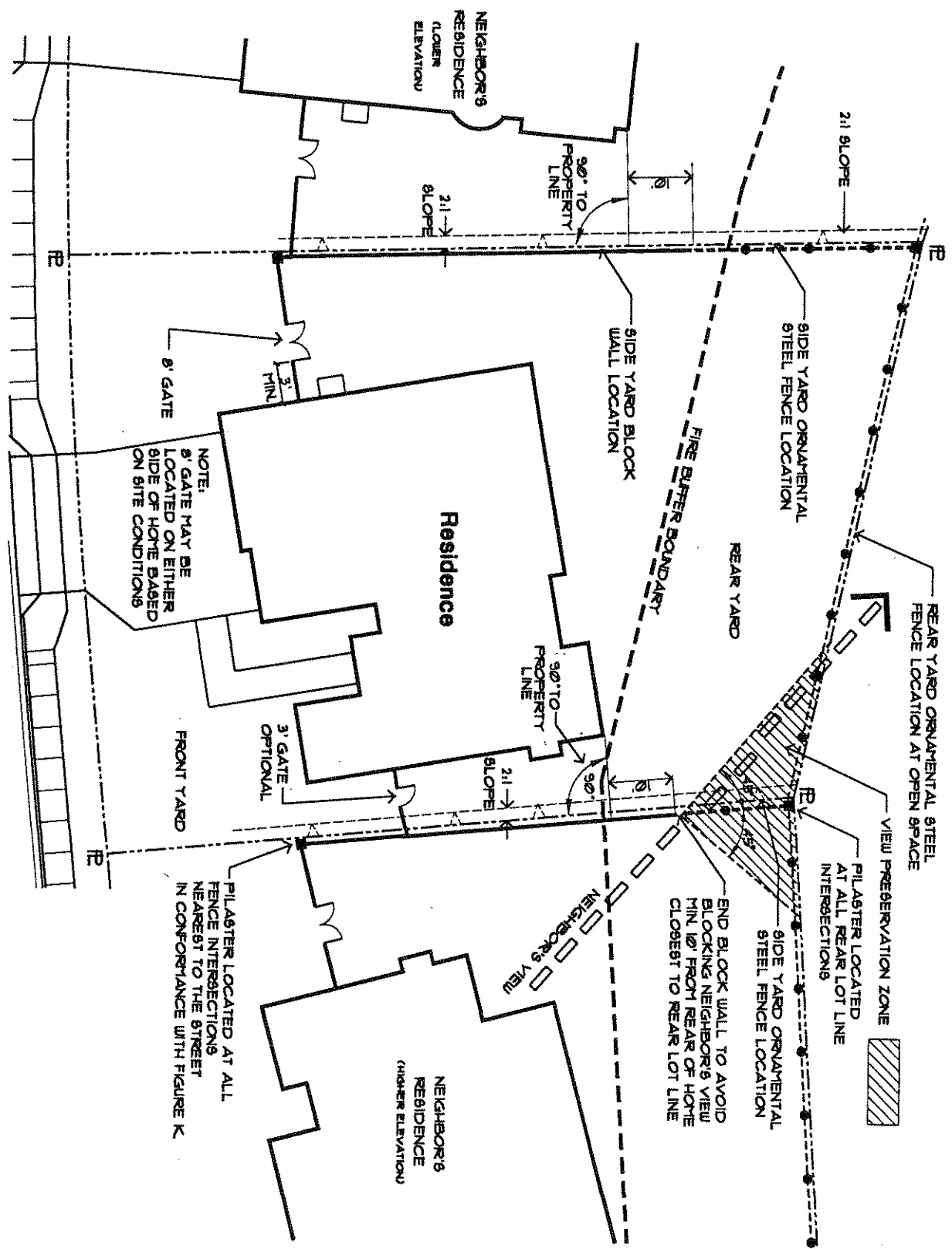


FIGURE M
WALL AND FENCE LOCATIONS

5. Patio Overheads and Auxiliary Structures

Patio overheads are one story roofed or open structures not more than 12 feet above grade and used only for recreational, outdoor living purposes. A well designed patio overhead can provide shelter from sun, or rain and a dimensional addition to the yard which promotes a sense of enclosure and privacy.

The location and detailing of the structure should be compatible with the scale and massing of the home. The detailing of the overhead should reflect the architectural design of the building. Finishes and colors should match the wood trim of the building. White is also acceptable to match the color of the window frames.

Patio overheads shall not be enclosed or walled, and shall not exceed 1000 square feet, or 50% of the rear yard area, which ever is less. Patio overheads shall not exceed 12 feet in height. Patio overhead locations shall be limited to the allowable areas as indicated on the patio overhead setback plan (see Figure N). Patio overheads or any other structure constructed of combustible material are not permitted in the brush management zone setbacks as indicated on the fence plans, and erosion control/brush management plans. This setback varies for each lot.

Designs for patio overheads and auxiliary structures must be submitted to the Architectural Committee for review and approval prior to construction. The structures must be constructed in conformance with City of San Diego regulations. A permit for construction must be obtained from the City prior to construction.

Auxiliary structures such as green houses, gazebos and other garden structures shall be reviewed on a case by case basis by the Architectural Committee. Such structures shall not be

constructed in the View Preservation Area of any yard or brush management zone setback.

Corrugated metal, plastic, or fiberglass patio covers are prohibited as well as structures constructed of plastic mesh, reeds or straw-like materials.

Storage structures shall be permitted only in the side yards between the front fence and the rear wall of the home, and shall not exceed the height of the masonry walls. The structure shall be the same color as the home or adjacent walls/fences. In no event is the structure to be visible from the street, community property or other facilities.

Air conditioners shall not be visible from adjacent lots, and shall not be installed in the front yards.

Recreational vehicle parking is not permitted within the neighborhood.

Non-combustible accessory structures in Brush Management Zone 1 may be approved by the Fire Marshall and the City Development Services Department.

All accessory structures including those less than 100 square feet require the approval of the City Development Services Department and must meet P.R.D. permit guidelines.

Some suggested designs for patio overheads are provided on the following pages (Figures O through T). These are designed for use at a specific model floor plan and elevation. With minor modifications, they can be applied to other floor plans and

elevations. The dimension of lumber and spacing of posts will depend on the spans required for the particular size and shape of the overhead being designed, and should be verified with a structural engineer and/or appropriate City permit assistance staff.

The attachment of a ledger to a building requires special attention in construction to minimize the opportunity for leaks to develop in the building wall (Figure V). In addition the ledger must be securely bolted to the house framing. The work should be performed by a licensed contractor experienced in ledger installation.

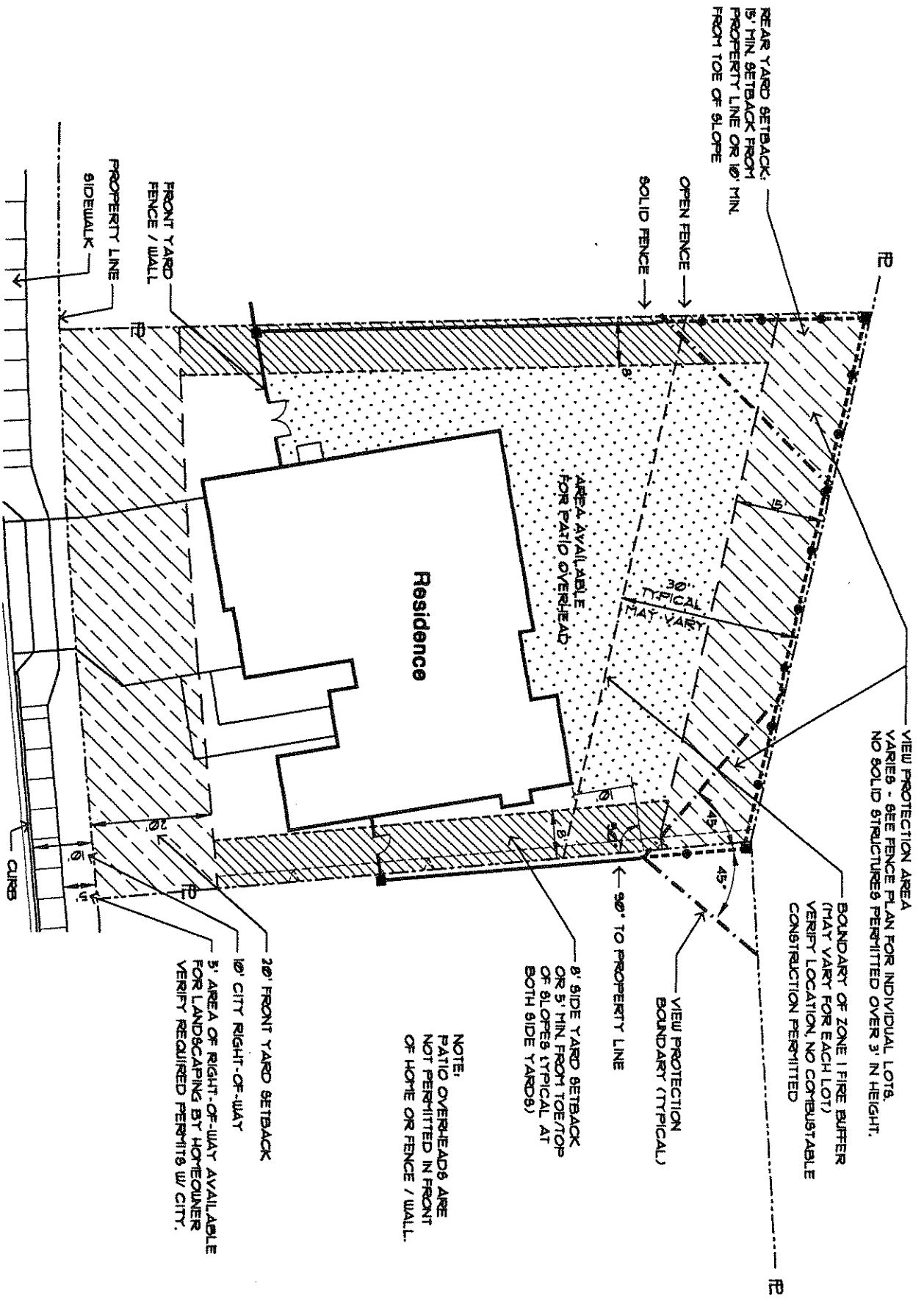
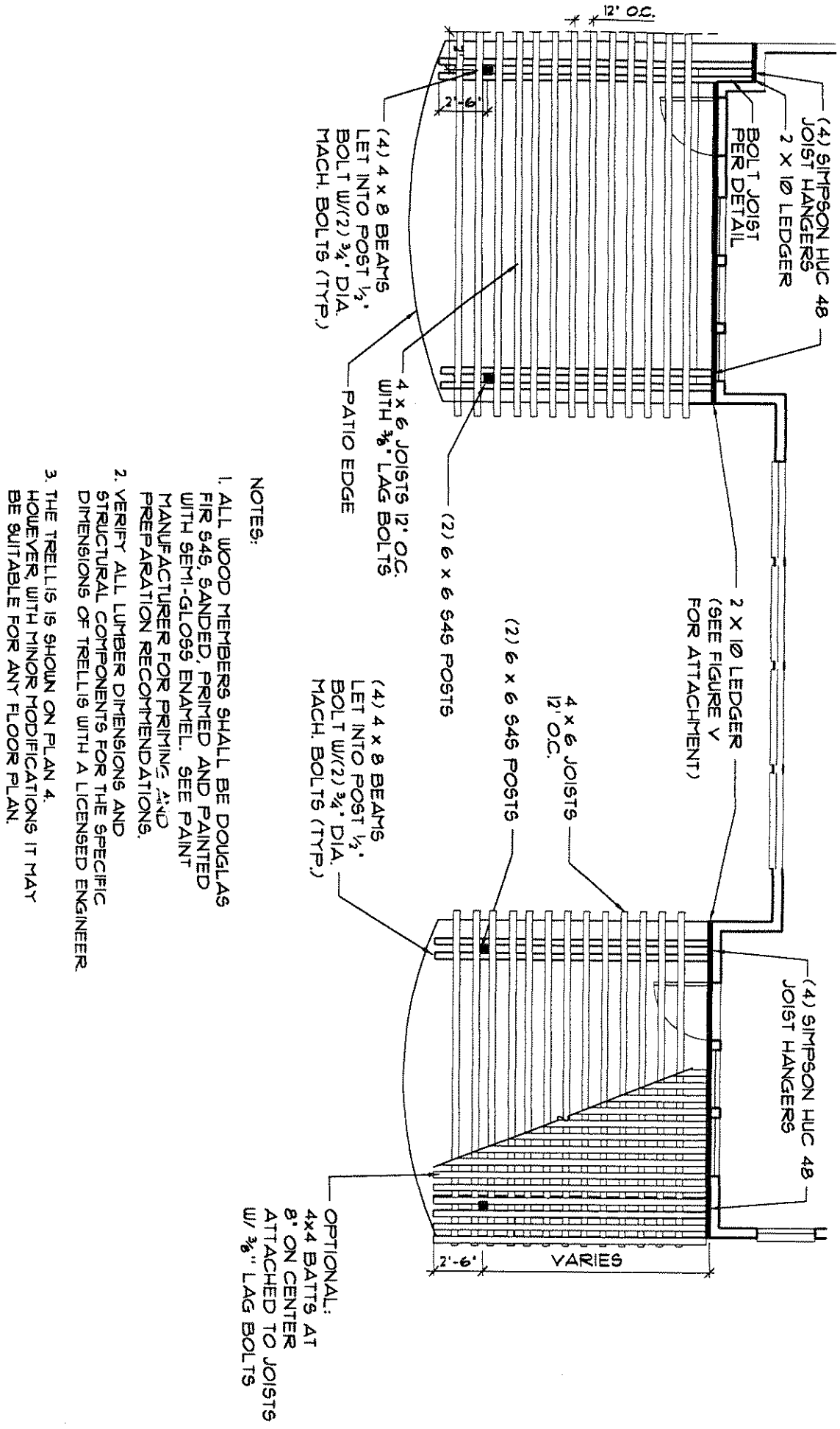


FIGURE N
PATIO OVERHEAD AND AUXILIARY STRUCTURE SETBACKS

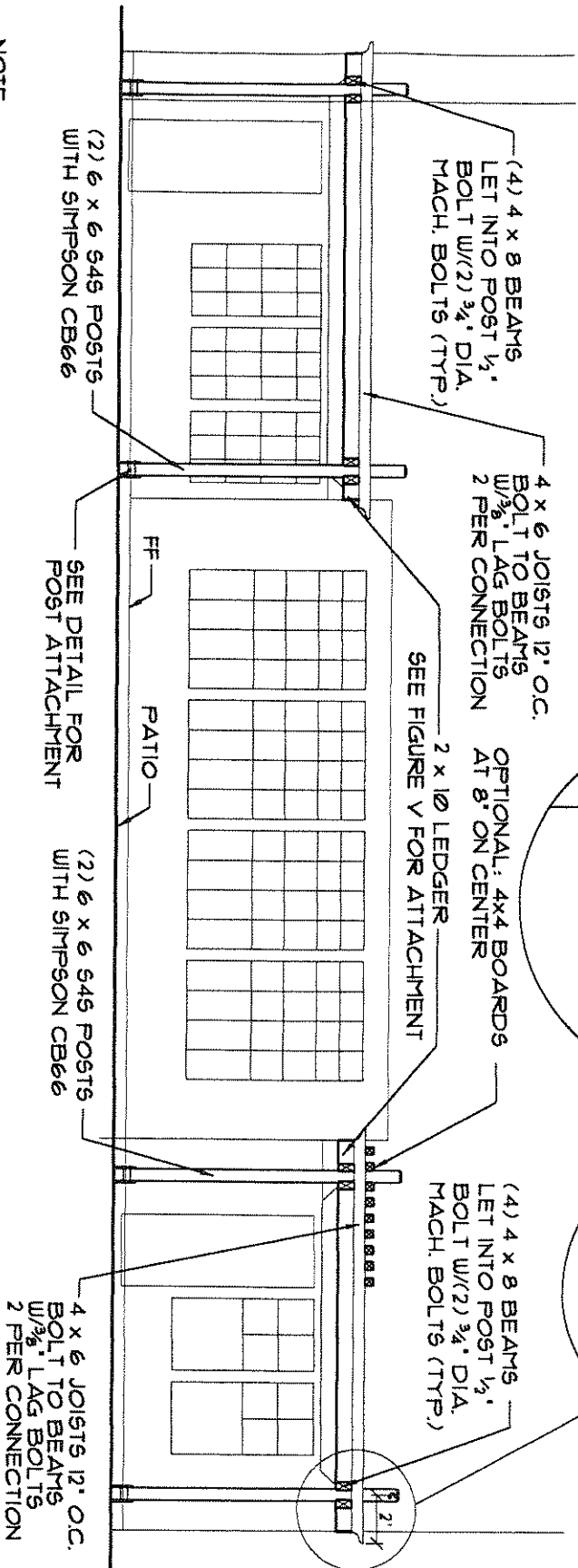


- NOTES:
1. ALL WOOD MEMBERS SHALL BE DOUGLAS FIR S4S, SANDED, PRIMED AND PAINTED WITH SEMI-GLOSS ENAMEL. SEE PAINT MANUFACTURER FOR PRIMING AND PREPARATION RECOMMENDATIONS.
 2. VERIFY ALL LUMBER DIMENSIONS AND STRUCTURAL COMPONENTS FOR THE SPECIFIC DIMENSIONS OF TRELLIS WITH A LICENSED ENGINEER
 3. THE TRELLIS IS SHOWN ON PLAN 4. HOWEVER, WITH MINOR MODIFICATIONS IT MAY BE SUITABLE FOR ANY FLOOR PLAN.

OPTIONAL:
 4x4 BATTS AT
 8" ON CENTER
 ATTACHED TO JOISTS
 W/ 3/8" LAG BOLTS

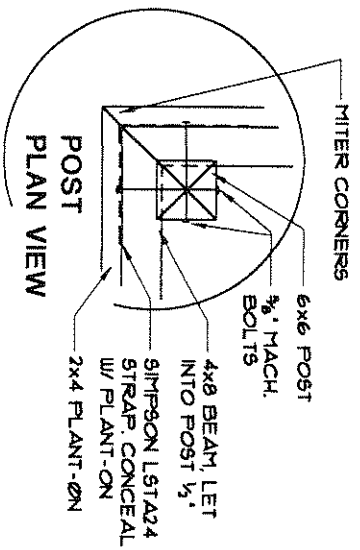
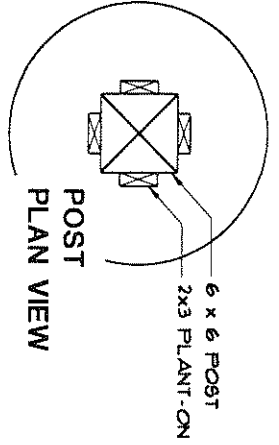
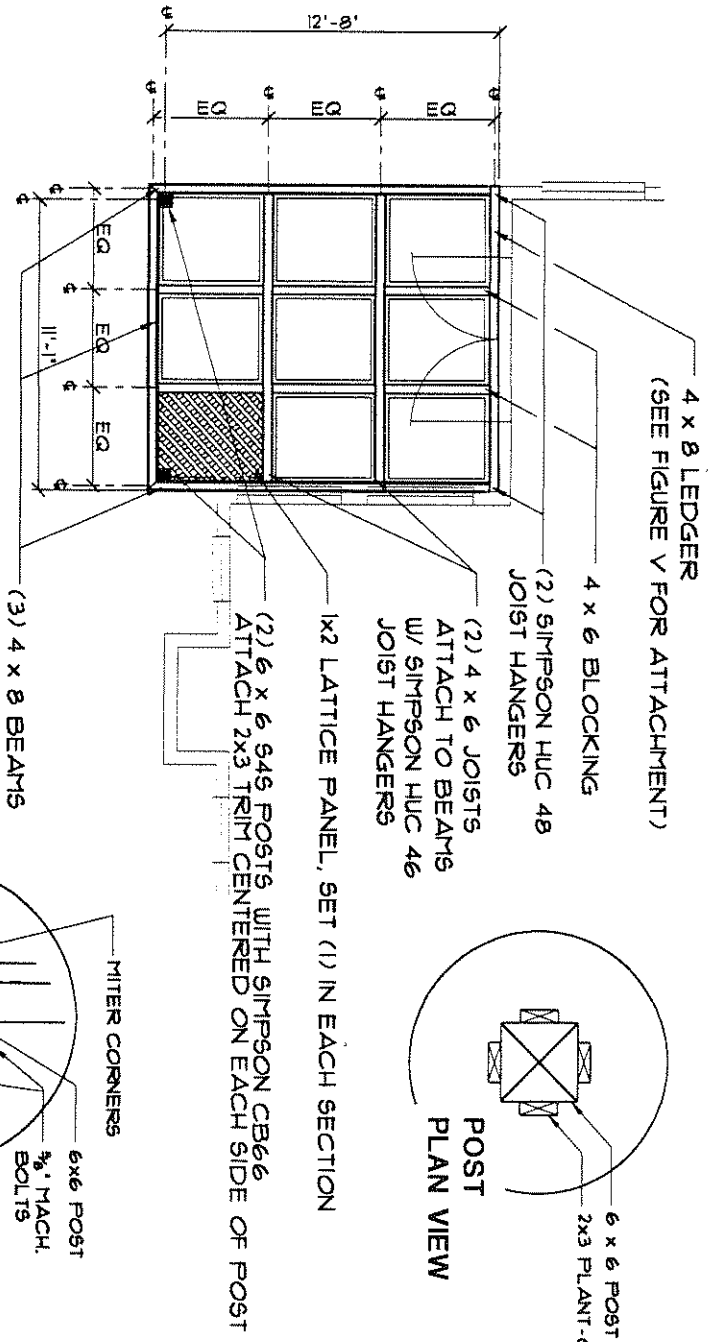
FIGURE 0
PATIO OVERHEAD 1 - PLAN
 PAGE 27

- SPECIAL NOTE:**
1. COORDINATE LEDGER INSTALLATION WITH HOUSE WALL FRAMING TO PROVIDE FRAMING TO RECEIVE LEDGER BOLTS.
 2. VERIFY BEAM CLEARANCE AT ROOF



- NOTE:**
- A 2" MIN. CLEARANCE SHOULD BE MAINTAINED BETWEEN THE BOTTOM OF STUCCO SCREED AND THE TOP OF THE PATIO.
 - A 4" MIN. CLEARANCE SHOULD BE MAINTAINED BETWEEN THE BOTTOM STUCCO SCREED AND THE SOIL OR FINISH GRADE OF PLANTERS OR LAWN AREAS.

FIGURE P
PATIO OVERHEAD 1 - ELEVATION
 PAGE 28



- NOTES:
- ALL WOOD MEMBERS SHALL BE DOUGLAS FIR S4S, SANDED, PRIMED AND PAINTED WITH SEMI-GLOSS ENAMEL PER MANUFACTURER'S RECOMMENDATIONS.
 - VERIFY ALL LUMBER DIMENSIONS AND STRUCTURAL COMPONENTS FOR THE SPECIFIC DIMENSIONS OF TRELLIS WITH A LICENSED ENGINEER.
 - THE TRELLIS IS SHOWN ON PLAN 4, HOWEVER WITH MINOR MODIFICATIONS IT MAY BE SUITABLE FOR ANY FLOOR PLAN.

FIGURE Q
PATIO OVERHEAD 2 - PLAN
PAGE 29

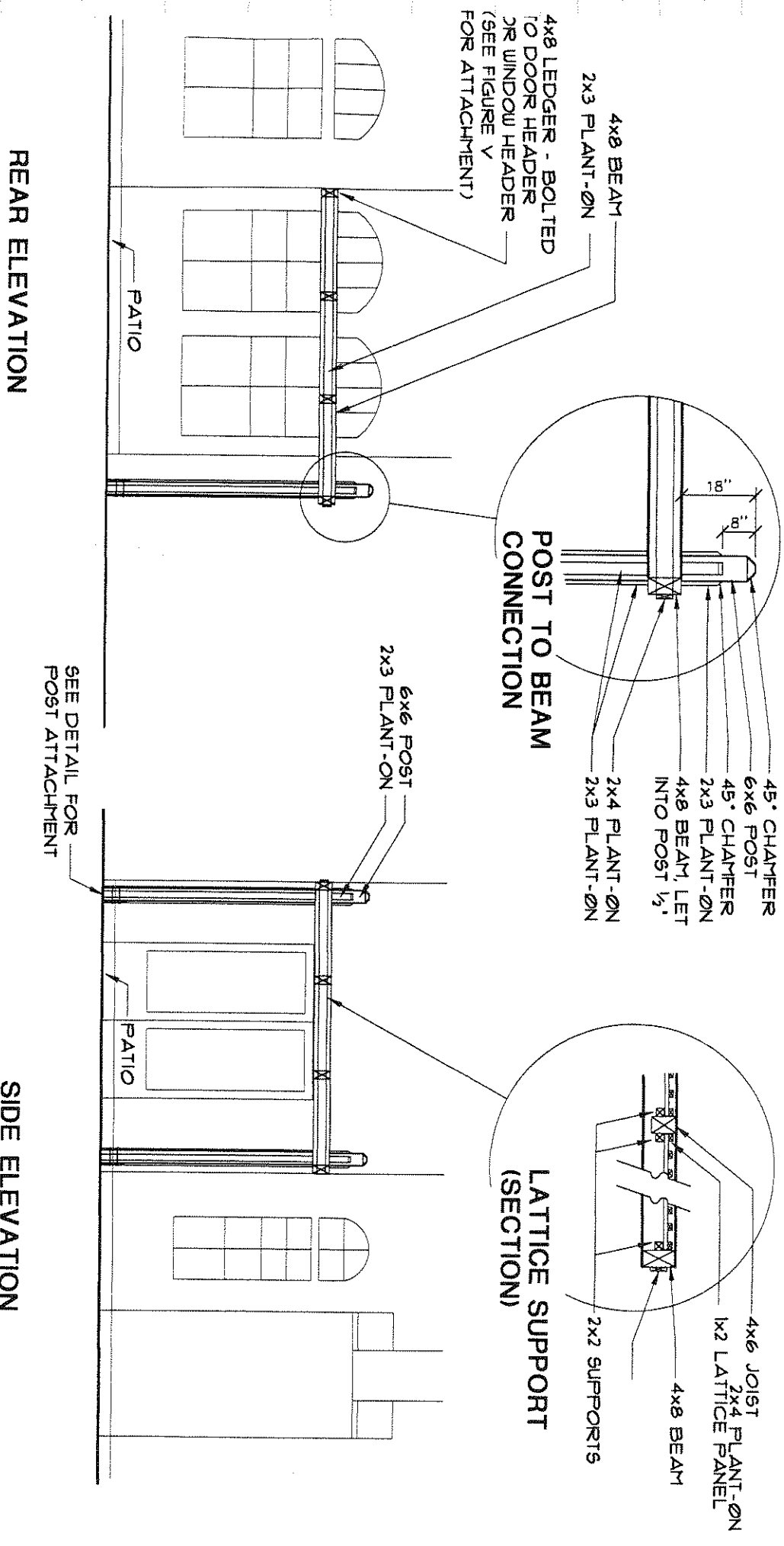
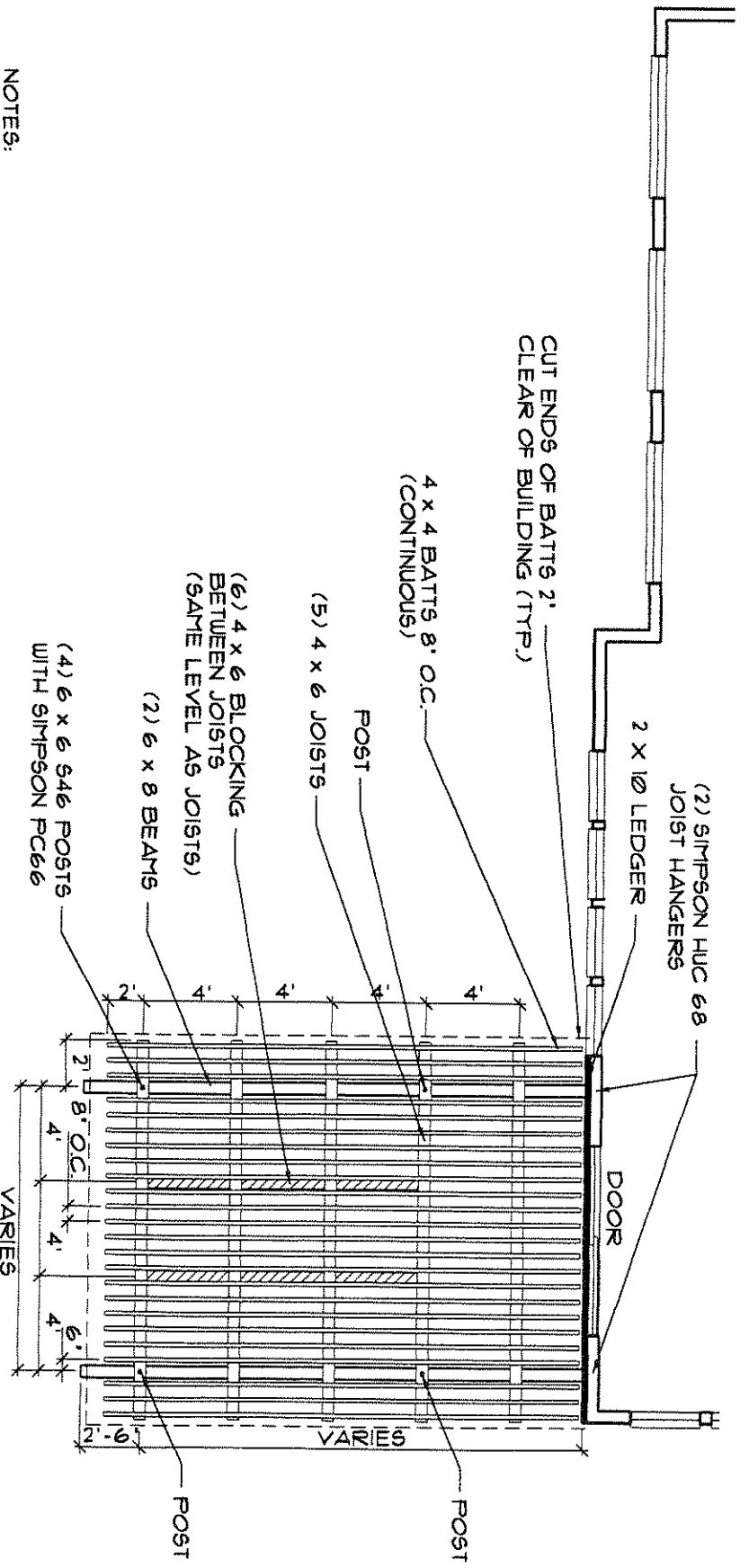


FIGURE R
PATIO OVERHEAD 2 - ELEVATION
 PAGE 30



- NOTES:
1. ALL WOOD MEMBERS SHALL BE DOUGLAS FIR S4S, SANDED, PRIMED AND PAINTED WITH SEMI-GLOSS ENAMEL PER MANUFACTURER'S RECOMMENDATIONS.
 2. VERIFY ALL LUMBER DIMENSIONS AND STRUCTURAL COMPONENTS FOR THE SPECIFIC DIMENSIONS OF TRELLIS WITH A LICENSED ENGINEER.
 3. THE TRELLIS IS SHOWN ON PLAN 4. HOWEVER, WITH MINOR MODIFICATIONS IT MAY BE SUITABLE FOR ANY FLOOR PLAN.

FIGURES
PATIO OVERHEAD 3 - PLAN VIEW
 PAGE 31

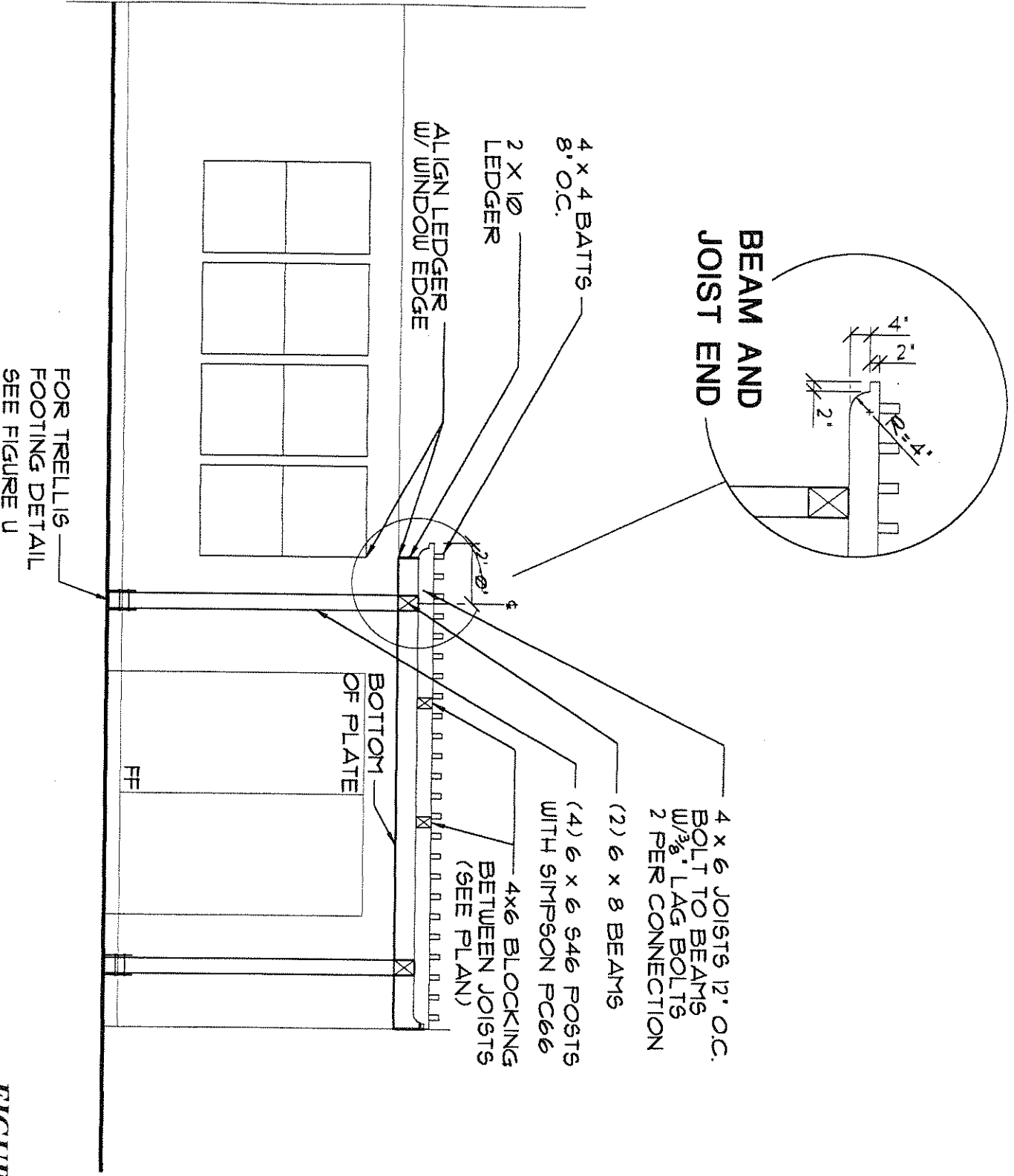
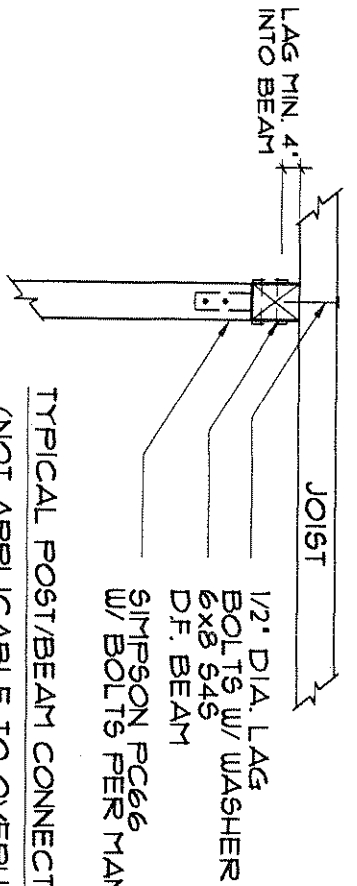
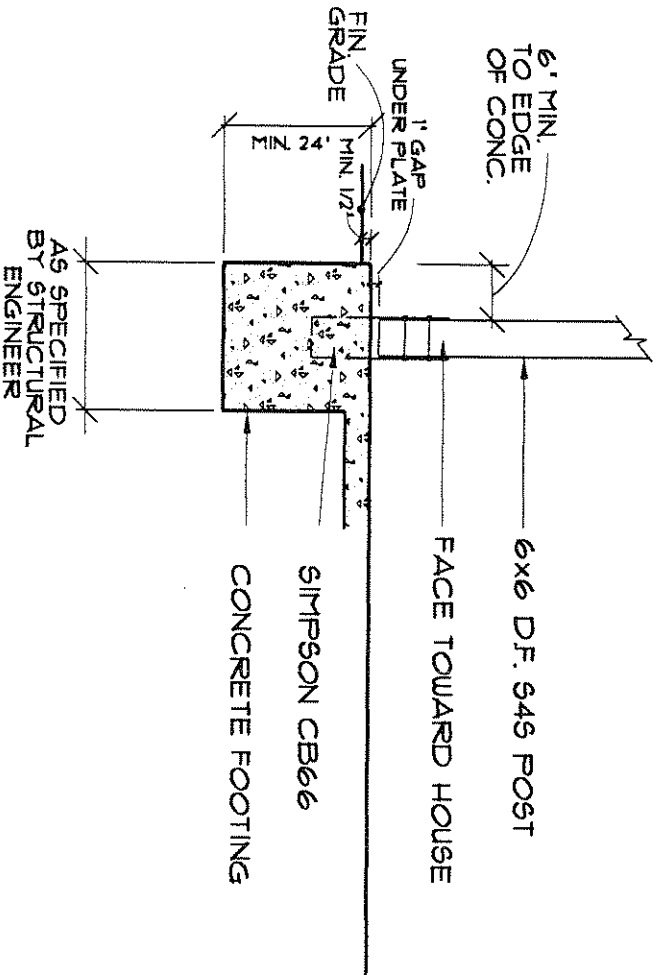


FIGURE T
PATIO OVERHEAD 3 - ELEVATION
 PAGE 32

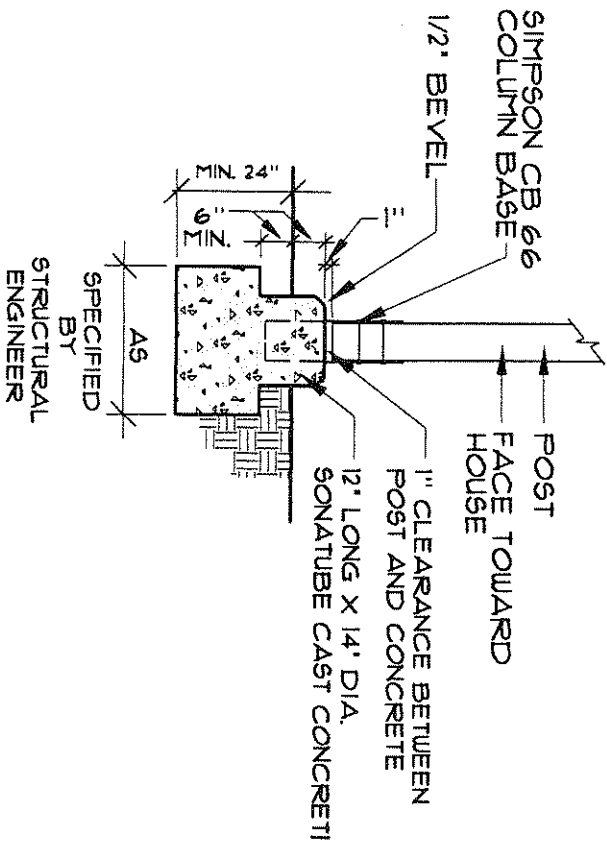


TYPICAL POST/BEAM CONNECTION
 (NOT APPLICABLE TO OVERHEADS
 WITH DOUBLE BEAMS)

NOTE:
 VERIFY ALL LUMBER DIMENSIONS
 AND STRUCTURAL COMPONENTS FOR
 THE SPECIFIC DIMENSIONS OF TRELLIS
 WITH A LICENSED ENGINEER.



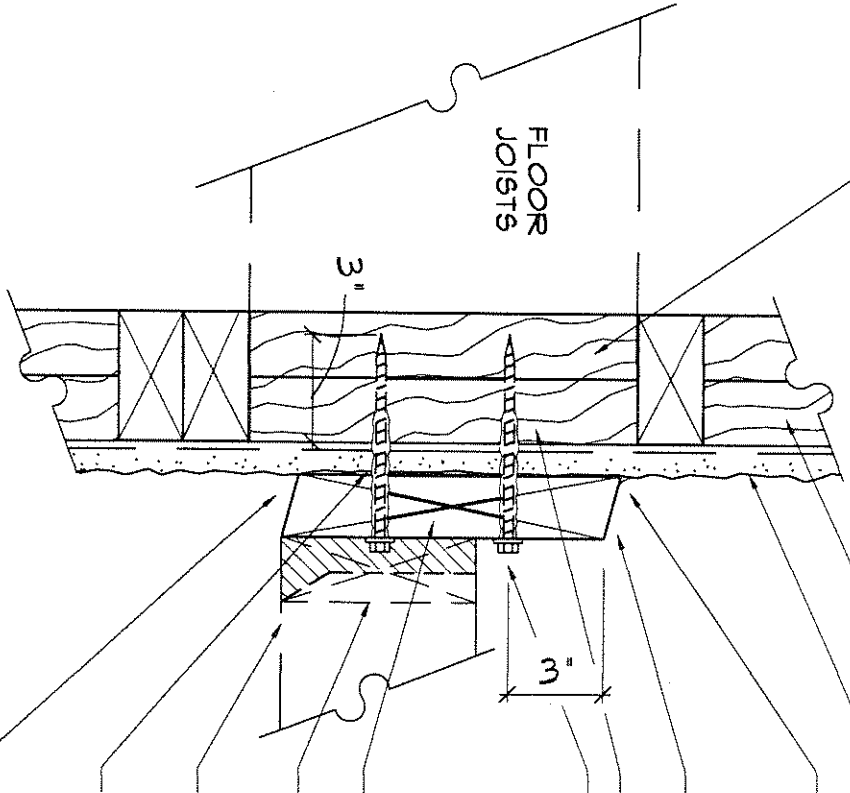
TYPICAL POST IN CONCRETE



TYPICAL POST IN PLANTING AREA

FIGURE U
 TYPICAL PATIO OVERHEAD CONNECTIONS

VERIFY THAT STRUCTURAL FRAMING OF HOMES IS SUFFICIENT TO BEAR TRELLIS LOAD



- WOOD FRAME OF HOUSE
- STUCCO AND WATER RESISTANT MATERIAL (EXISTING)
- SOLID BEAD OF BUTYL CAULK AT TOP AND SIDES OF LEDGER - OMIT AT BOTTOM TO ALLOW MOISTURE TO ESCAPE
- 15° BEVEL CUT AT TOP OF LEDGER
- RIM JOIST OR HEADER
- 3/4" DIA. x MIN. 6" HD. GALV. LAG BOLTS - LOCATE 6" FROM ENDS AND 12" O.C. INTO 2x SECOND FLOOR RIM JOIST STAGGER BOLTS IN LEDGER WHEN ATTACHING TO 2x STUDS USE (2) 1/2" x 5" LAG BOLTS 16" O.C. INTO CENTER OF STUDS
- 2x10 OR 4x8 D.F. LEDGER (PAINT PRIOR TO INSTALLATION)
- 2 x 8 D.F. BLOCKING BETWEEN TRELLIS JOISTS (PAINT PRIOR TO INSTALLATION)
- TRELLIS JOIST ATTACHED TO LEDGER WITH SIMPSON U OR HUCS JOIST HANGERS
- CAULK ALL HOLES IN STUCCO PRIOR TO PLACING HEADER TO SEAL STUCCO AT PENETRATION OF WATER RESISTANT MEMBRANE.
- 15° BEVEL CUT BOTTOM OF LEDGER TO CREATE A DRIP EDGE

FIGURE V
PATIO OVERHEAD LEDGER
 PAGE 34

6. Decks

The construction of wood decks can add significant outdoor space and opportunities to enjoy views, especially when added to the second floor in combination with glass doors. Careful siting and detailing is necessary to avoid impacts to neighboring residences.

Decks should be compatible with the scale and massing of the home and the detail design should be compatible with the architectural style of the building. Finishes and colors shall be as indicated in the Color section of this report. Replacement windows and doors shall be of the same design, color and materials as the original.

Second floor decks shall not exceed 300 square feet in size, and shall not extend into view preservation zone. Railings shall be designed to be compatible with the architecture and should reflect other railings on the building.

Typically, second floor decks are accessed directly from the interior of the home and do not require access stairs. If a stairway to grade is to be proposed, the design must be compatible with the deck, and be contained within the allowable deck area. Enclosed stairways, decks or patio rooms are not permitted.

Deck locations shall be limited to the allowable areas as indicated on the deck setback plan (see Figure V). Decks or any other structure constructed of combustible material are not permitted in the fire zone setbacks. No decks will be permitted overhanging the slopes.

Ledgers for deck attachment should be structurally designed by a licensed engineer to withstand loads and forces acting on the deck structure. The attachment of a ledger to a building requires

special attention in construction to minimize the opportunity for leaks to develop in the building wall. In addition the ledger must be securely bolted to the house framing. The work should be performed by a licensed contractor experienced in ledger installation.

Designs for all decks must be submitted to the Architectural Committee for review and approval prior to construction. Decks must be constructed in conformance with City of San Diego regulations. A permit for deck construction must be obtained from the City prior to construction.

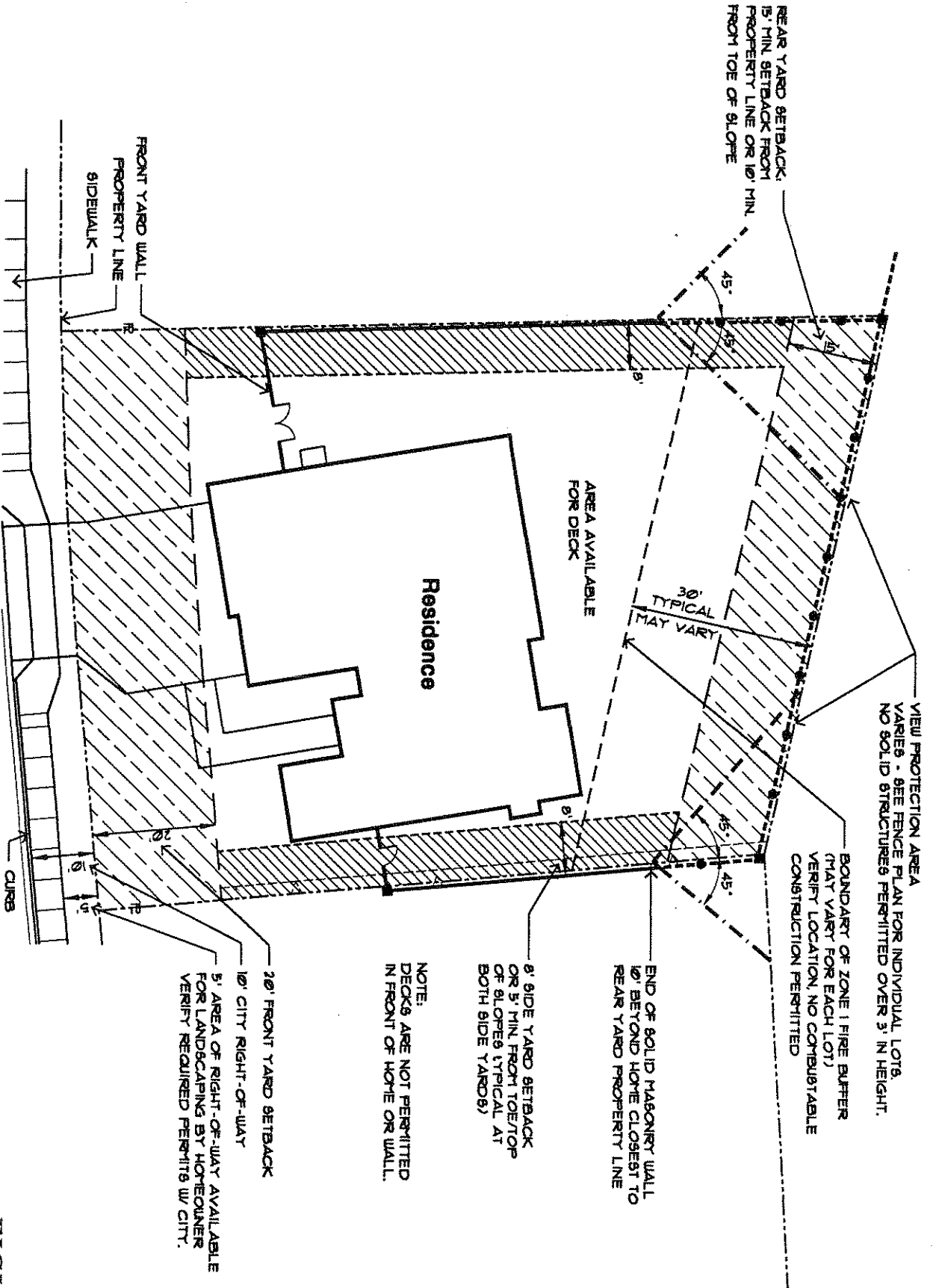


FIGURE W
DECK SETBACKS
PAGE 36

7. Swimming Pools and Spas

Swimming pools and spas may be added to the rear yard of a residence if approved by the Architectural Committee and the City of San Diego. All pools and spas shall observe the setbacks required by the City. Pools, spas and related equipment will be considered on an individual basis and require adjacent and impacted Neighbor Notification (Form B).

A permit is required for pools, in ground spas and for all gas and electrical installations. It is critical to provide a protective enclosure to protect the lives of children. Yards must be completely enclosed by a fence or wall meeting the City requirements for pool enclosures. Gates must be self closing and latching as required by City codes. Openings in this enclosure must be less than 4" wide. Current codes and restrictions should be reviewed prior to designing a pool or spa.

Portable spas and pools must conform to the same fencing enclosure requirements as in-ground spas.

Special structural design consideration should be given to pools or spas located near a slope, or on the graded fill areas of the site. While pools may be permitted within the Fire Buffer Brush Management Zones, combustible materials are not permitted.

8. Radio and TV Antennas

Exterior radio and TV antennas are prohibited by the conditions of approval of the Tentative Map. One master antenna may be constructed for the entire neighborhood. Installation of cable TV in any public right-of-way or within or adjacent to the project requires either a license or franchise with the City prior to installation.

A satellite dish antenna smaller than 20 inches in diameter may be installed in an unobtrusive location with the approval of the Architectural Committee.

9. Lighting

All private outdoor lighting shall be shaded and adjusted to fall on the premises on which the lights are located.

Exterior lighting must be low voltage (12v). Higher voltage lighting will be approved if it is not directed or if it is placed so that it does not create an annoyance to the neighbors, as determined by the Architectural Committee.

Seasonal holiday lighting during the holiday period (from December 1st to January 2nd) is permitted without Architectural Committee approval. Removal of holiday lights from structures and landscape is required between seasons.

10. Signs

One sales marketing sign of customary and reasonable dimensions as approved by the Architectural Committee may be displayed on or from a lot advertising the lot for sale or lease. A sign design will be provided by The Arbors at Scripps Ranch Homeowner Association. No other designs shall be permitted.

This restriction does not apply to the developer or builder who may use any portion of the properties for a model home site and display and sales offices and may post signs and other advertising devices within the project during the construction and sales period.

11. Colors

Color schemes for the Arbors community were selected by the project colorist to create interest and diversity throughout the community while maintaining a continuity of theme. Each color scheme is selected to complement and enhance the design style and architectural elevation of the home. Exterior design elements such as fences, walls and patio overheads should be painted to harmonize and complement the colors of the home.

All colors are to be approved by the Architectural Committee prior to application. To maximize durability of finishes, the homeowner is encouraged to use the best quality paints and other materials.

Wall and Fence Colors:

To maintain continuity through the community and to avoid conflicting colors between adjacent properties, a single neutral color for the walls and fences has been selected as follows:

Masonry walls (includes masonry portions of the view wall and view fence): Frazee CZ 12-6712 (ICI 524)

Tubular steel fences - Frazee CZ-12-6027 (Frazee 8796N)

Gate Colors:

To allow the gates to blend in with the walls or fences, gates shall match the color of the adjacent fences.

Wood gates: Frazee CZ 12-6712 (ICI 524)

Steel gates: Frazee CZ-12-6027 (Frazee 8796N)

Patio Overhead Colors:

The color of patio overheads or decks should be selected to match the wood trim color of the home. As a dramatic alternative, patio overheads and decks may be painted white to match the architectural window frames.

**THE ARBORNS
EXTERIOR COLOR SCHEMES FOR HOMES**

All paint colors are Frazee or Frazee matches of BM Benjamin Moore, SW Sherwin Williams / S/S straight shot formula
All gutters to match fascia. Downspouts, door jambs and utility doors to match adjacent color. French doors to match windows.

Veneer grout color: 50% white cement & 50% Colton grey. Country rubble to be set with tight grout joints, mortar to be flushed out and lightly overgrouted onto shallowest stone surfaces, not raked. Limestone to be set with standard grout joints.

Stone veneer: Plans 1A, 2A, & 4A will have Eldorado Country Rubble "Chateau", "Tuscany" or "English" or Eldorado limestone "Pasadena" or "Cheyenne" or Eldorado Rustic Ledge Cascade, Sequoia or Prairie". Specific stone assignment will be individually plotted per lot.

Precast concrete elements on A & C elevations: precast concrete architectural elements to be 50% white cement & 50% Colton grey with acid etch finish.

A & C ELEVATIONS

	WOODEN FASCIA, TAILS, TRIM & BALCONIES	GARAGE, FRENCH DOORS & SHUTTERS	EXPO STUCCO	STUCCO / PAINT MATCH	ENTRY DOORS (INTERNATIONAL WOOD PRODUCTS) STAIN OPTIONS SEMI-TRANSPARENT
SCHEME 1	CZ-12-6018 (8765D)	CZ-12-6599 (8765D)	3522	CZ-12-4771 (5630W)	CHERRY
SCHEME 2 (MODEL 2A)	8785A (S/S)	8785A (S/S)	2398	CZ-12-6525 (SW 1127)	TOBACCO
SCHEME 3	8695D (S/S)	CZ-12-6598 (8695D)	2733 + 150%	CZ-12-6584 (8733M ADJ. LTR)	CHERRY
SCHEME 4	8825D (S/S)	8825D (S/S)	56	CZ-12-5994 (CWO33W LTR)	CHERRY
SCHEME 5 (MODEL 4C)	CZ-12-6050 (8755A ADJ. DKR)	CZ-12-6050 (8755A ADJ. DKR)	2056 1/4	390 (S/S)	CHERRY
SCHEME 6	CZ-12-6666 (5415A)	5415A (S/S)	478 3/4	CZ-12-6530 (8233M)	TOBACCO
SCHEME 7	5394D (S/S)	CZ-12-6664 (5394D)	2928	CZ-12-5971 (8712W)	TOBACCO
SCHEME 8	8705D (S/S)	8705D (S/S)	2841	CZ-12-6585 (SW 1120)	CHERRY

**EXTERIOR COLOR SCHEMES FOR HOMES
B ELEVATIONS**

	ROUGH SAWN WOOD TRIM	GARAGE DOORS	EXPO STUCCO	STUCCO / PAINT MATCH	PAINTED ENTRY DOORS & SHUTTERS
SCHEME 9	CZ-12-6018 (8765D)	CZ-12-6581 (BM 1487)	3522	CZ-12-4771 (5630W)	CZ-12-6362 (8665D)
SCHEME 10	8785A (S/S)	CZ-12-6665 (CW054W)	2398	CZ-12-6525 (SW 1127)	CZ-12-5356 (HC-160)
SCHEME 11	8695D (S/S)	CZ-12-6663 (SW 2012)	2733 + 150%	CZ-12-6584 (8733M ADJ. LTR)	CZ-12-6688 (SW 2722)
SCHEME 12	8775D (S/S)	8793M (S/S)	56	CZ-12-5994 (BM 967)	8525D (S/S)
SCHEME 13	CZ-12-6050 (8755A ADJ. DRK)	CZ-12-6580 (FO-B-G-49)	2056 1/4	390 (S/S)	CZ-12-6601 (8876N)
SCHEME 14 (MODEL 1B)	CZ-12-6666 (5415A)	CZ-12-6531 (5624D)	478 3/4	CZ-12-6530 (8233M)	CZ-12-6872 (1/2 BM 1462, 1/2 BM 1455)
SCHEME 15	CZ-12-6018 (8765D)	CZ-12-6665 (CW 054W)	2928	CZ-12-5971 (8712W)	CZ-12-5290 (1/2 4055 & Q15-60D)
SCHEME 16	8705D (S/S)	CZ-12-6583 (BM 1537)	2841	CZ-12-6585 (SW 1120)	CZ-12-6709 (ICI 1032)

ROOF MATERIALS

A ELEVATIONS / SUPERSHAKE		A ELEVATIONS / SLATE	
LIFETIME #	FRAZEE MATCH	LIFETIME #	FRAZEE MATCH
2/3 501 + 1/3 1420	8825D	5956	8876N
1/2 501 + 1/2 505	8765D	2/3 5956 + 1/3 1275	8876N
503	8785D	5948	8635D
1/2 503 + 1/2 505	8775D	2/3 5948 + 1/3 1273	8635D
505	8765D	1248	8635D
2/3 505 + 1/3 1420	8765D	1/2 1273 + 1/2 1275	8775D

B ELEVATIONS / SUPERSHAKE		B ELEVATIONS / SLATE		C ELEVATIONS / "S" TILE	
LIFETIME #	FRAZEE MATCH	LIFETIME #	FRAZEE MATCH	LIFETIME #	FRAZEE MATCH
2/3 501 + 1/3 1420	8825D	5956	8876N	825	8315D
1/2 501 + 1/2 505	8765D	2/3 5956 + 1/3 1275	8876N	2/3 825 + 1/3 1132	5215A
503	8785D	5948	8635D	820	5215A
1/2 503 + 1/2 505	8775D	2/3 5948 + 1/3 1273	8635D	821	5255A
505	8765D	1248	8635D		
2/3 505 + 1/3 1420	8765D	1/2 1273 + 1/2 1275	8775D		

12. Landscape Design

Overview

The landscape setting for The Arbors has been designed to fit the character of the surrounding neighborhood, while harmonizing and blending with the surrounding native and regional vegetation. Large expanses of native open area surrounds the ridgetop and canyon development. The majority of the neighborhood has been allowed to remain "natural" undisturbed open space which will be decided to the City of San Diego.

Chaparral is the dominant plant community in the open space areas, however Eucalyptus groves provide a dominant visual theme which should be enhanced by Eucalyptus plantings within the developed areas.

Graded slopes around the streets and private lots emphasize Eucalyptus species mixed with other drought tolerant species. Manufactured slopes adjoining natural slopes are planted with native shrubs and seeded native groundcover to create a transition in keeping with the surrounding vegetation setting.

A trail linkage leads from Fig Tree Street to the Community Trail along Pomarado Road. These trails are part of the Scripps Ranch community plan and must remain accessible to the public.

The Scripps Miramar Ranch Community plan indicates that "landscaping in the new developments should emphasize the use of Eucalyptus species." The manufactured slopes in the interior of the project feature Eucalyptus species to blend with the surrounding neighborhood, along with attractive drought tolerant shrubs and groundcovers in irregular spacings. Street trees are selected to reflect and enhance the Eucalyptus theme.

Manufactured slopes adjacent to existing open space are planted with a transitional landscape which emphasizes drought tolerant native species and naturalizing plants with fire retardant characteristics. The intent is to blend manufactured slope into the natural open space slopes. Many of the species planted in these transition areas are species found on the adjacent undisturbed open space areas. Plantings are spaced in irregular patterns, randomly spaced with groupings of trees and shrubs to mimic the adjacent natural slopes. Irrigation to these transition areas is intended to be temporary during plant establishment.

View preservation is a key consideration in landscape design.

View corridors should be maintained to preserve views for both individual residences and for others looking up into the neighborhood. Long term maintenance, especially tree pruning must be managed to allow continued appreciation of both vegetation and views. The potential for enhancing views with framing trees should be considered. Tree canopies can be maintained either above or below view corridors (see Figure Y).

The Homeowner's Association will be responsible for the maintenance of all open space lots not decided to the City. The open space lots consist of brush management areas, refined slope plantings facing the streets, transitional landscape areas adjacent to open space, project signage and open space "windows".

Private Yard Landscaping

While this manual provides criteria governing the appearance of exterior construction, the landscaping of private lots should allow the maximum flexibility for the homeowner to develop a personalized residential landscape. The neighborhood is designed

to provide a substantial usable area on each lot to provide the homeowner with a variety of opportunities to develop garden spaces, including patios, decks, pools, spas and other amenities.

A prime goal of the private yard landscaping should be to promote a harmonious blend of planting and hardscape within the neighborhood. Harsh designs out of character with the architectural themes should not be permitted where seen from public spaces or other properties. All landscaping work, plantings and irrigation shall be aesthetically consistent with the design of the community. A brief description of architectural styles is included in the introduction to this manual. The colors of external materials are encouraged to be subdued to enhance the colors of the landscape.

The homeowner should be allowed flexibility in planting design. The design should reflect the neighborhood setting and the architectural style of the building. Where possible, Eucalyptus and other theme trees from the adjacent open spaces and slopes should be incorporated into the landscape design to maintain neighborhood continuity.

Views

Plantings should be designed and located to preserve or frame views. Trees placed near the rear corners of lots allow a clear view from the back of the home, while providing the benefits of planting trees for shade, beauty and enhancing the view. The tree canopy height can be trimmed up to allow views under the foliage, or the tree can be thinned to allow views through the branches. Protection of views from neighboring homes must also be taken into consideration when planting and pruning trees.

View Preservation Zones (Figures X and Y)

View preservation zones are defined on page 10.

The following criteria should be observed within the view preservation zone:

- a. No more than one tree may be planted per 1,000 square feet of view preservation area.
- b. Trees must be spaced a minimum of 20 feet from trunk to trunk when in the view preservation zone, and must be pruned to avoid obstruction of views.
- c. Shrubs and other landscaping within the zone shall not exceed 36 inches in height to allow views over the top.
- d. Landscaping must be maintained in an attractive growing condition.
- e. Construction, waterfalls, boulders, barbecues and other construction must be limited to a maximum height of 36".

Street Trees

Street trees are required by the City of San Diego and will be installed within the City right-of-way by the developer. The homeowner is responsible for the watering of these trees to promote vigorous growth. Pruning is typically provided by the City. The homeowner cannot remove street trees. Questions regarding street trees can be addressed to the City of San Diego Department of Transportation Street Trees Section by calling (619) 527-5463.

Lawn

Large open areas of lawn consume large quantities of water and may be subject to watering cutbacks during water shortages. Lawns should be limited to areas where it is used for play, or highly viewed areas. Narrow lawn strips and lawns on slopes where irrigation will run off are discouraged. Use of warm season grasses instead of cool season grasses such as bluegrass, rye and fescue will greatly decrease water use. Warm season grasses include St. Augustine, and Bermuda hybrids. Common Bermuda grass is discouraged due to its extremely invasive characteristics.

Mulch

Planting areas except lawns should be covered with a minimum 2" deep layer of mulch to help keep the soil cool and reduce evaporation from the soil surface. Mulch may consist of organic material such as bark and wood products, small stones such as gravel, river rock or cobblestones.

Decorative Rock

Limited use of decorative rock and gravel in front yards or those areas viewed from community property may be approved if in keeping with the design theme of the home. Use of large rock or boulders is subject to architectural review.

Irrigation

Water must be treated as a valuable resource to be conserved. Irrigation should be designed carefully to minimize run-off and overspray onto paving or walls. Excess moisture from improperly adjusted irrigation and excessive watering can be a potential

cause of structural damage and other problems. Consequently, the homeowner should monitor the irrigation schedule to respond to the demands of each season of the year.

Plants should be grouped in zones of similar water use and irrigated from separate valves to eliminate the need to irrigate heavily to sustain a few heavy water users in the midst of a low water use zone. Lawn and shrubs must always be irrigated using separate valves.

To avoid excessive moisture on the building walls, it is recommended that the sprinkler heads be installed a minimum of 12 inches from walls.

Water conservation devices such as accurately programmable controllers and rain shut off switches should be installed, maintained in good working order and programmed to current climate conditions.

Invasive Plants

Invasive species or trees with invasive roots should be avoided, including:

Ficus species (*Ornamental Fig*) (*except in containers*)

Salix species (*Willow*)

Cortaderia species (*Pampas grass*)

Common Bermuda grass

Pennessetum setaceum (*Fountain Grass*) *except sterile varieties*

Acacia melanoxylon (*Black Acacia*)

Arundo donax (*Giant Reed*)

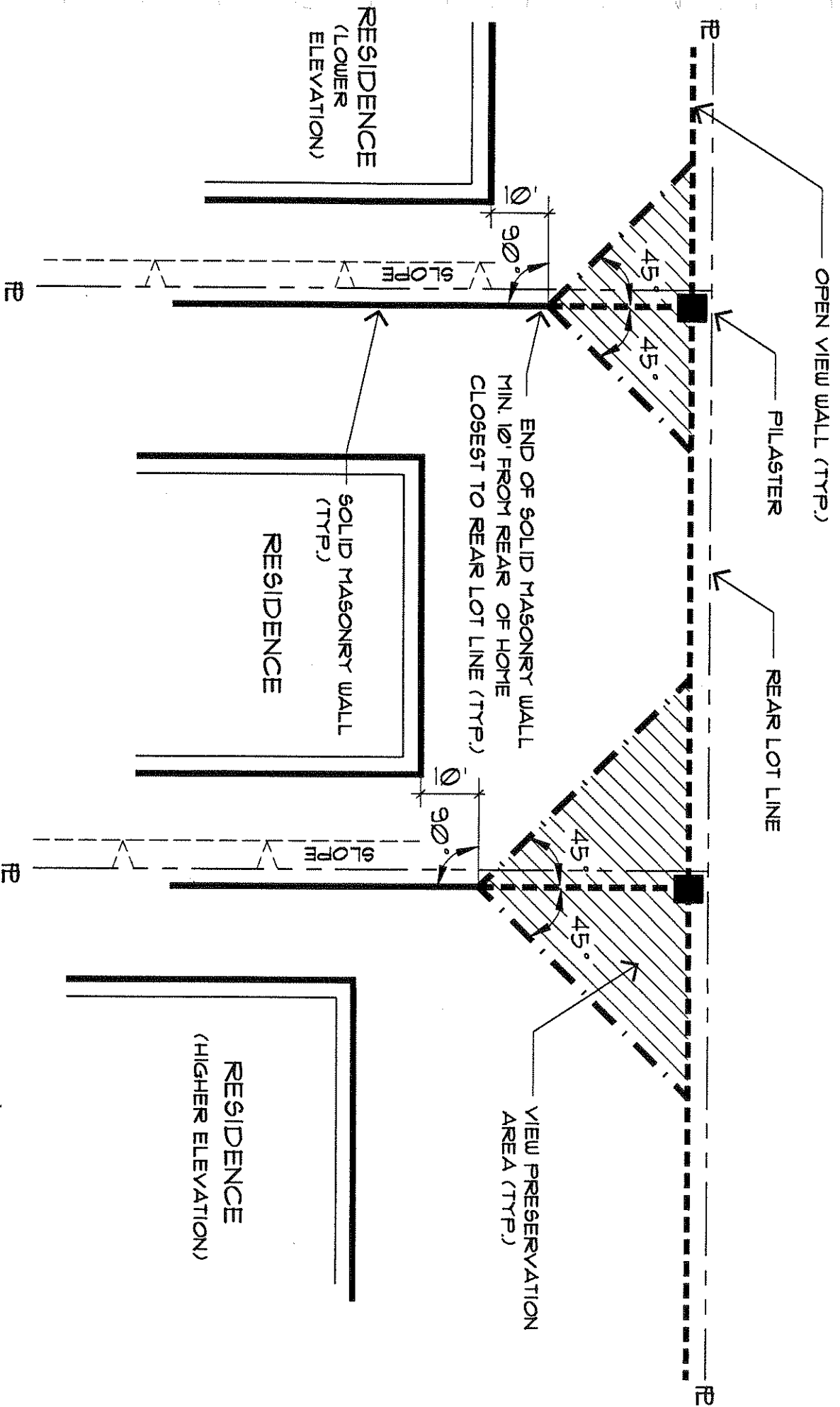
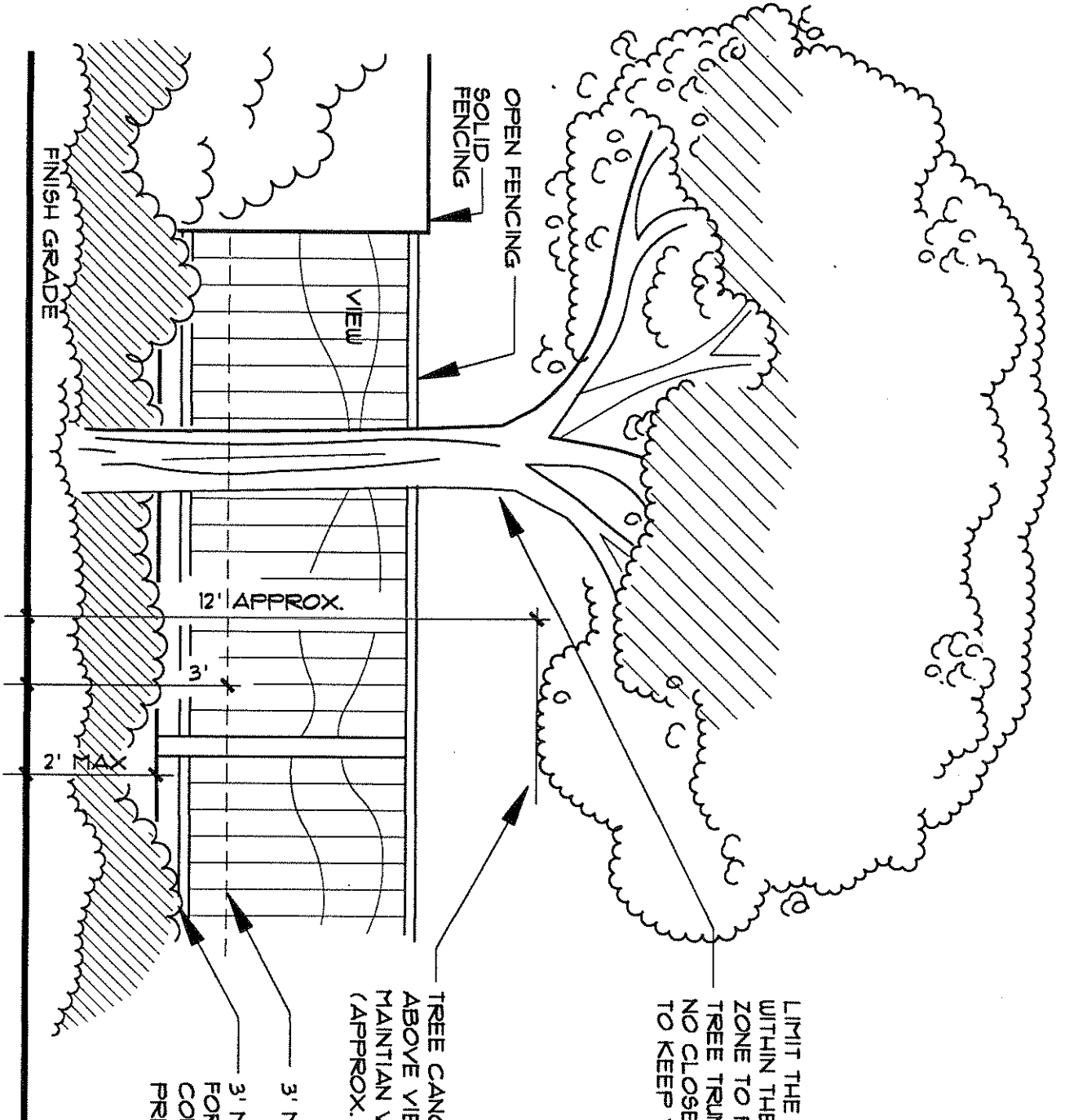


FIGURE X
VIEW PRESERVATION ZONE - PLAN
 PAGE 45



LIMIT THE NUMBER OF TREES WITHIN THE VIEW PRESERVATION ZONE TO PRESERVE VIEWS. TREE TRUNKS SHALL BE SPACED NO CLOSER THAN 20' APART TO KEEP VIEW OPEN

TREE CANOPY PRUNED ABOVE VIEW LINE TO MAINTAIN VIEW (APPROX. 12')

3' MAX. CONSTRUCTION HEIGHT
 3' MAX. HEIGHT LIMIT FOR ALL SHRUBS AND CONSTRUCTION IN VIEW PRESERVATION AREAS.

FIGURE Y
PLANTING IN VIEW PRESERVATION ZONE

Drainage and Finish Grades

It is critical that all finish grades are maintained with a slope sufficient to provide positive drainage away from buildings and toward drainage structures or street curbs. **No drainage is permitted across lot lines, or over slopes.** All drainage from improvements shall be constructed so as to return drainage to the front street. Drain lines must be cored through the curb in accordance with City Standards. Drainage cannot be concentrated over the sidewalk.

Finish grade must remain a minimum of 6" below the floor level of the house (minimum 4" below the stucco weep screed). Any modifications to the grading and improvements as installed by the Builder, shall relieve the Builder of responsibility for any damage brought upon by the modification.

Brush Management

The Arbors neighborhood is located in close proximity with the surrounding natural open space. While the open space is an amenity, native plant materials are highly combustible and subject to wildfires, especially during the dry summer and fall seasons. A brush management program has been designed in response to the requirements defined in the City of San Diego Landscape Technical Manual dated November 1989, which establishes a means of providing for fire safety in the landscape.

The brush management program is designed to provide a reduced fuel transition between the homes and the flammable native vegetation. Management zones have been established to gradually reduce the amount of flammable material approaching the homes, while maintaining sufficient plant coverage for soil protection and minimizing biological impacts. This transition is

divided into three zones which are illustrated on the brush management plans. The dimensions for each zone may vary and should be verified by the individual homeowner. See the appendix for the Brush Management Plan.

Zone 1 - Domestic Planting: This zone consists of irrigated ornamental plantings located between the top or bottom of a slope and the structure. This zone is to be maintained in a moist, well watered condition. All planting should be regularly pruned to eliminate dead fuels, and to reduce excessive fuel and to provide adequate space between plants and structures. While planting in this area typically consist of ornamental non-native species, native plants may also be used providing they are not allowed to become desiccated. Flammable plants should not be planted in this area. All accumulations of debris, leaves and other flammable material should be regularly removed. Drain gutters, roofs and downspouts shall be kept free of leaves and debris.

Zone 2 - Widely Spaced Native Vegetation: The majority of zone 2 will be established in undisturbed areas through the selective thinning and pruning of existing or re-established native vegetation. The goal of the thinning of native plants in this area should be to retain attractive and healthy shrubs and trees but to reduce the fuel volume of these shrubs by a minimum of 40% of that of an unpruned plant. Seasonal maintenance in this zone should include removal of dead woody plants, removing dry annual grasses just above grade, eradication of weedy species, and periodic pruning and thinning of trees and shrubs. Removal of grasses and weeds should not be done with hand tools such as hoes, since this disturbs the surficial integrity and removes valuable soil. The use of weed trimmers or other tools which retain a short stubble is recommended. Native shrubs should be pruned in

the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. Diseased and dead wood should be kept pruned from all plants. Zone 2 should have a more open appearance than Zone 3.

Zone 3 - Thinned Native Vegetation: This zone is the final transition to unmanaged native plant material. It consists of the selective thinning and pruning of native vegetation in a way that preserves the natural appearance of the area while reducing the fuel load. Ongoing selective thinning and pruning as described for zone 2 must be done on a regular basis to reduce the amount and continuity of the fuel. This pruning and thinning should be accomplished incrementally each year by removing the oldest and most flammable vegetation while retaining the younger, less flammable vegetation.

For additional information and suggested plant species, see the City of San Diego Landscape Technical Manual.

Structures constructed of combustible material are not permitted within Zone 1, 2 or 3 of the brush management zones.

Private Yard Maintenance

Maintenance of the private yards is the responsibility of the individual homeowner. All yard maintenance must conform to a high standard to contribute to the overall appearance and value of the neighborhood. Litter, weeds, rubbish, debris and other unsightly material must be controlled and removed on a minimum of a biweekly basis. Lawns shall be maintained in a healthy green condition except as otherwise required by the City or Water District during water emergencies. Shrubs, trees and groundcover

shall be watered, fertilized and pruned to maintain an attractive appearance. Trees, shrubs and hedges which restrict sight lines for vehicular traffic from neighboring units or the street right-of-way shall be pruned or removed to avoid view restriction. Garden structures, walls, fences, overheads and other exterior construction shall be maintained in a orderly condition, properly painted and free of graffiti, or other disfigurements.

Unsightly Items

All clotheslines, refuse containers, woodpiles, storage areas, machinery and equipment shall be prohibited upon any lot unless obscured from view of adjoining streets, lots, units, alleys, common area and improvements.

Landscaping Requirements

All portions of the yard of a residence shall be landscaped by the owner on or before a date six (6) months from the original conveyance of residence from the developer (close of escrow).

All homeowners must submit plans to the Architectural Committee for approval of improvements on their front and side yards within 120 days of their close of escrow. Installation of these areas must be completed within six (6) months from the close of escrow.

Landscape improvements must be compatible with the aesthetic plan and design of the community. Portions of the yard that are not visible from the street or the community property need architectural approval only for the following: (a) improvements which exceed the height of any perimeter or sideyard wall or fence, all trees, spas, pools, water elements, pet enclosures, all

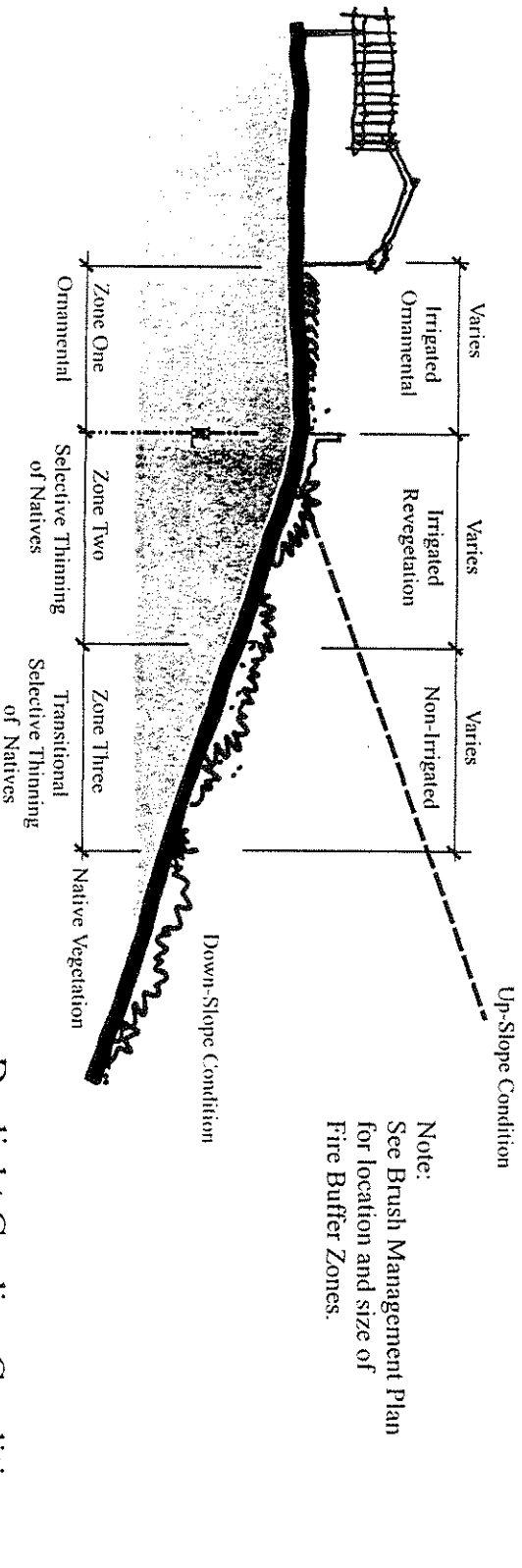
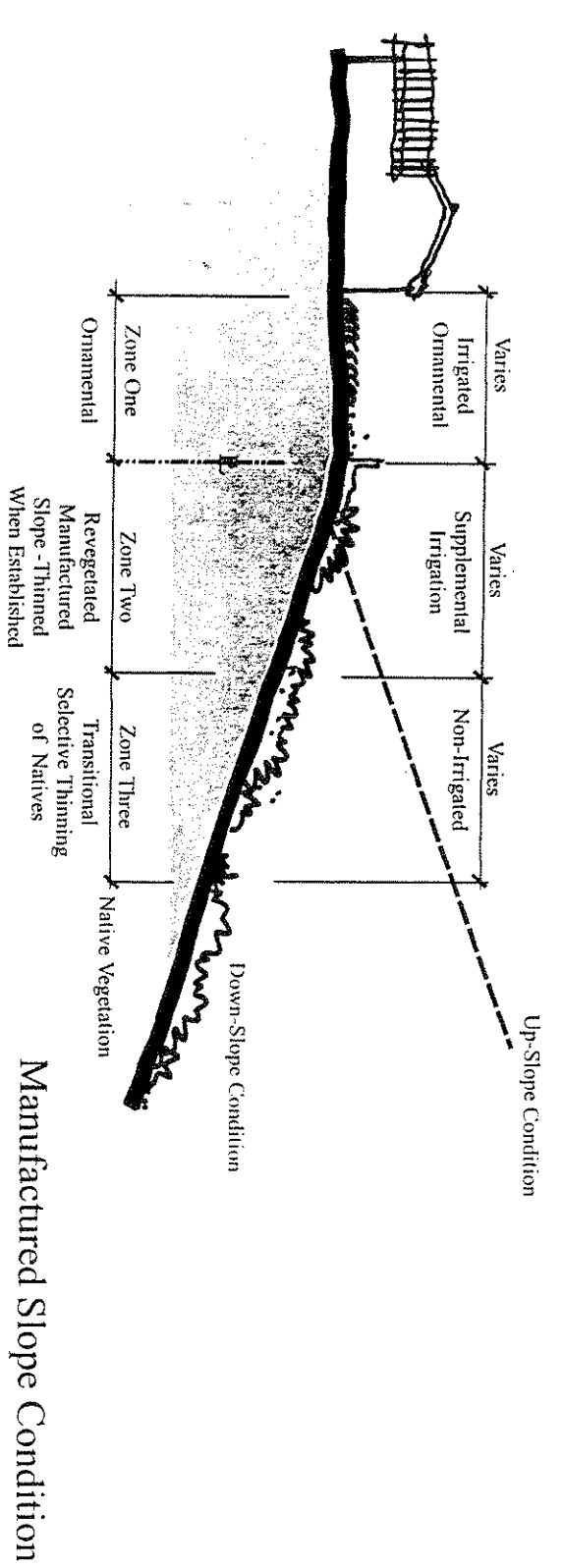
areas within the view preservation zone, any noise producing improvements (i.e., pumps, motors) and improvements which will change or alter either the grading or drainage such as it interferes with adjoining property whether that property is privately owned or community property.

All landscape plans must be submitted with the inclusion of all prospective plant listings of ground cover, vines, espaliers, shrubs and trees.

Materials used shall conform to type, quality, character and detailing established in existing dwelling and as otherwise described above.

All front yard improvements require facing and adjacent Neighbor Notification (Exhibit B). No grading, excavation, removing of any tree or existing landscape modification shall be commenced until the plans showing the nature, kind, shape, height and location of the improvement shall have been approved by the Architectural Committee.

See the CC&R's for additional exterior design criteria.



Note:
See Brush Management Plan
for location and size of
Fire Buffer Zones.

Daylight Grading Condition

13. GENERAL BUILDING MATERIALS AND DETAILS

Building additions and alterations to the original architecture should be in keeping with the original design of the homes. A discussion of the design themes and styles is included in Section 3 of this document. Building massing, architectural details and the compatibility of the proposed features with the original structure should be carefully considered when proposing any changes to the structures. All changes or modifications to the exterior of buildings must be submitted for review and approval by the Architectural Review Committee.

The following information is provided not as an exhaustive or definitive presentation of building details, but as an outline or overview to familiarize the homebuyer with some basic design criteria prior to submitting a Homeowner Design Review Application (Form A).

Exterior Walls:

The materials, texture and color treatment for the exterior walls should be harmonious and in keeping with the existing materials, texture and colors installed by the Builder.

Windows and Doors:

Windows and doors will be a vinyl window framing material equal to those included in the original homes. The window and door design should be compatible with the existing shape, size and groupings and the architectural style of the home.

Additions:

Room additions, eaves and balconies or any exterior alterations to any building shall be constructed with materials that conform to type, quality character and detailing established in the existing dwelling.

Gutters and Downspouts:

Gutters and downspouts may be concealed or exposed if designed as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof or wall material.

Glass Tinting:

Glass tinting requests will be considered by the Architectural Committee. However, tinting will void manufacturer's warranty and mirror finishes will not be approved.

Screen Doors:

Screen doors on the front door or entrances are allowed if they are painted in accordance with the color of the door.

Exterior Painting:

No owner shall perform any exterior painting without the approval of the Architectural Committee unless the original color, as installed by the builder, is used. Approved color schemes are designated in Section 11.

Color samples of all paint or stain are required when they deviate from the original color scheme assigned to the existing dwelling.

Window Covering:

Only curtains, drapes, shutters or blinds may be installed as permanent window covers. No aluminum foil, paint, newspaper or similar covering deemed to be inappropriate for a window covering shall be applied to the windows or doors of any dwelling, at anytime. Appropriate temporary coverings, e.g. solid

white sheets, must be removed three months after your close of escrow.

Mechanical Equipment/Air Conditioners:

No exterior window, wall or roof mounted air conditioners shall be permitted. All air conditioning/heating equipment, soft water tanks, gas meters, and electric meters must be screened from public view. Sound attenuation is encouraged.

Awnings:

Must be of canvas or approved fabric and the color must be consistent with that of the unit. Design should incorporate a straight, single piece of canvas with a straight, simple design flap. Awnings shall be held up by a wrought iron metal bracket. Canvas awnings of solid colors are permitted in moderation. Metal awnings are prohibited.

Solar:

Solar panels are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement roof. Natural aluminum frames are prohibited. Solar support equipment shall be enclosed and screened from view.

Antennas:

All antennas are restricted to the attic or interior of the residences. See also Section 8.

Flashing, Sheet Metal and Vents:

All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface.

Skylights:

Skylights are to be designed as an integral part of the roof. Their form, location, and color should relate to the building.

Accessory Structures:

Patio trellises, pergolas and other exterior structures may be of stucco or wood as permitted by governing codes, with finishes complying with the approved material and color palette. Trellises and patio covers of bold, clean forms are encouraged. The use of rough sawn wood is encouraged. See Section 5 for additional information.

Decorative Accents:

Clay pipe wall vents, decorative wall tile, floor pavers (concrete, clay or stone), fountains, stone benches, and clay flower pots are all elements that can add to the overall appearance. These elements are encouraged when in keeping with the architectural design of the home.

Items Not Addressed:

Items not described or otherwise addressed in these guidelines and associated documents and City codes shall be governed at the discretion of the Architectural Committee.

14. APPENDIX

List of Reference Documents

City of San Diego Zoning Ordinance
City of San Diego Landscape Technical Manual
Hillside Review Overlay Zone
Hillside Design and Development Guidelines
City of San Diego Landscape Regulations - User's Guide
Scripps Miramar Ranch Community Plan
Environmental Impact Report (EIR)
Tentative map and Conditions of Approval
Planned Residential Development Permit
City of San Diego Zoning Ordinance
Supplemental Development Data for Spring Canyon
Erosion Control Landscape Plans
Brush Management Plans
The Arbors Fence Plans
The Arbors Street Tree Plans
Covenants Conditions and Restrictions (CC&R's)

THE ARBORS
ARCHITECTURAL COMMITTEE
HOMEOWNER DESIGN REVIEW APPLICATION

Date: _____
Owner's Name: _____
Property Address: _____
Daytime Phone No. _____ Home Phone No. _____
Tract: _____ Lot No. _____
Proposed Starting Date: _____ Completion Date: _____
Description of Proposed Improvements: (Continue on reverse side if necessary)

SUBMITTAL REQUIREMENTS: Three sets of the following items must be furnished with all applications presented to the Design Review Committee.

1. PLOT PLAN showing property lines and dimensions and site of proposed new construction with relationship to property lines and existing structures.
2. EXTERIOR ELEVATION that will fully explain the proposed structure. A photo of similar structure may be used in place of rendered elevation.
3. CONSTRUCTION DETAILS illustrating the design, materials, finishing qualities and colors of the proposed structure.

I understand that my proposed improvements may require a permit from the City Building Department or other government agencies and I will obtain all required permits before commencing any work. I agree I will do no work that will change the existing drainage patterns. I am aware that any changes may result in substantial damage to adjacent properties.

I will assume the responsibility for any work under the above-proposed improvement that my contractors or I complete, which may, in the future, adversely affect adjacent properties. I will assume responsibility for all future maintenance of this addition or improvement.

Homeowner's Signature Date

Signatures and approval from adjacent neighbors are not required, however if possible, in addition to the Neighbor Notification Form (Form B), the support of neighbors should be indicated below.

We the undersigned neighbors have no objection to the above planned improvements.

Name	Address
_____	_____
_____	_____
_____	_____

Committee Only

Approved: _____ Denied: _____ Date: _____

Conditions of Approval:

THE ARBORS
ARCHITECTURAL COMMITTEE
FACING AND ADJACENT NEIGHBOR NOTIFICATION STATEMENT

Name of Applicant: _____

Address: _____

Tract: _____ Lot No. _____ Phone: _____

Proposed Starting Date: _____ Completion Date: _____

Description of Improvements:

REQUIRED NOTIFICATION:

Timely notification of all neighbors facing and adjacent to the property to be improved and other neighbors affected by the improvements is required. A copy of the Homeowner Design Review Application shall be mailed or delivered to each owner of impacted property a minimum of 30 days prior to the date of review by the Architectural Committee. Approval of neighbors is not required, however, neighbors in favor of the improvements can sign in the appropriate portion of the application form (Form A).

The following neighbors have been notified of the above planned improvements:

Name	Address	Phone	Date Notified
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

I have notified the neighbors listed above of the proposed improvements as submitted in the application dated _____

Homeowner's Signature _____ Date _____

Committee Use Only

Date Received: _____ Submitted On: _____ Approved On: _____

Approved: _____ Denied: _____ Conditional Approval: _____

Decision Letter Sent On: _____

Notes and Comments:

THE ARBORS
ARCHITECTURAL COMMITTEE
NOTICE OF COMPLETION

Name: _____
Address: _____
Tract: _____ Lot No. _____
Starting Date: _____ Completion Date: _____

Description of Improvements: (Continue on reverse side if necessary)

The improvements on the described property have been completed on the ____ day of _____, _____
in accordance with the plans and Design Review Application approved by the Architectural Committee on _____.

Homeowner's Signature(s) Date

Homeowner's Signature(s) Date

Committee Only

The improvements appear to be in substantial conformance with the application, plans and other documents approved by the Architectural Committee.

Completion Approved: _____ Denied: _____ Date: _____

Comment/Conditions of Approval:

The Arbors At Scripps Ranch Homeowners Association

9610 Waples Street
San Diego, CA 92121-2992

(619) 550-7900
(800) 448-7601
FAX 550-7929

Dear Future Homeowner(s):

Congratulations on the purchase of your new home. We welcome you as a future member of The Arbors At Scripps Ranch Homeowners Association. We would like to take this opportunity to provide you with information regarding the architectural process for landscape or exterior modifications, not covered in the Architectural Design Guidelines dated August 18, 1997..

Upon completion of your architectural plans, please submit your completed APPLICATION FOR ARCHITECTURAL IMPROVEMENT, three (3) sets of plans drawn to scale and two (2) checks. One check in the amount of \$300.00 (non-refundable) for the design review payable to Marquez-Kuhlken Landscape Architects; and a second check in the amount of \$20.00 payable to N.N. Jaeschke, Inc. for processing the Application. See attached revised Guidelines, Application and Notice of Completion forms.

Please be aware that no structures or improvements may be built and no alteration to the exterior of your home may be installed without prior approval (Section 7.21 and Article 9 of the CC&R's) and that any change to the established grading and drainage in your yard must be properly engineered and be approved by the Board/Architectural Committee (Section 7.22 of the CC&R's). If you have any questions about whether your landscaping plan will change the drainage or grading, we suggest that you submit your plans for prior approval; unapproved changes may have to be removed and replaced at your cost. The requirement to install landscaping is no later than six months of your escrow closing (Section 7.21 of the CC&R's).

N.N. Jaeschke, Inc.

9610 Waples Street

San Diego, CA 92121-2992

(619) 550-7900
(800) 448-7601
FAX 550-7929

GUIDELINES FOR SUBMITTAL OF ARCHITECTURAL PLANS

The Architectural Committee strives to preserve the highest standard and quality of life for each owner within The Arbors At Scripps Ranch Homeowners Association. Architectural approval must be given for structural or landscape changes prior to the start of any work. Some examples of items that generally need Architectural Approval are lawns, trees, shrubs, plants, ground cover, fencing, fountains, overhead trellises, patios, built-in barbecues, pools or jacuzzis. Please refer to page 2 of the Architectural Guidelines for further information.

To hasten the approval process, please follow these guidelines:

1. Please complete a description of the proposed structural or landscape changes.

2. Include plans to scale that show:

Location of improvement to home & property lines and/or plot plan

Complete dimensions of changes proposed

Description of materials and color scheme

Clearly marked plan types, sizes and quantities

(Please be courteous of others when considering the use of any plants or trees that may litter into other yards or the common area.)

3. Please submit the following:

Completed APPLICATION FOR ARCHITECTURAL IMPROVEMENTS FORMS

Three (3) set of plans

Submit two (2) checks: The Application (Form "A"), Plans and one check in the amount of \$300.00 (non-refundable) for the design review payable to Margueret-Kuhlen Landscape Architects; and a second check in the amount of \$20.00 made payable to N. N. Jaeschke, Inc. for processing the Application.

Submit Facing and adjacent Neighbors Statement (Form "B") at the same time you are submitting Application for Architectural Improvements (Form "A").

Failure to include appropriate fees and all the information requested would constitute an incomplete application, and the application will be stamped incomplete and returned to the homeowner for completion prior to architectural review. Installation must conform to the approved plans.

We will confirm the receipt of your plans. The plans will be sent for review and you will receive a written notice of the decision. Please note it may take up to 30 days for the Architectural Committee review process. We therefore encourage applicant to begin this process well before the work is scheduled.

Sincerely,

The Arbors At Scripps Ranch Homeowners Association
Architectural Review Committee