



ADDENDUM NUMBER 1

Project: Suite 320 Timeshare
19550 E 39th St. Suite 320
Independence, Missouri 64057

Date: June 23, 2016

The following changes, additions, and/or deletions for the above referenced project are hereby made a part of the contract documents as if they were originally included herein. Receipt of this addendum shall be acknowledged on the bid form.

Item No 1: Drawing Revisions: For All Revisions Listed Below, Please Refer to Reissued Sheets "Cover" and "A101," Dated June 23, 2016:

1. On all sheets, **CHANGE** project address to the following "19550 East 39th Street, Suite 320, Independence, Missouri 64057".
2. On drawing 1/COVER, 2/COVER, 9/COVER and 5/A101, **REVISE** outlets to coordinate with MEP drawings.
3. On drawing 2/COVER, **ADD** arrows showing the direction of sliding glass panels.
4. On drawing 4/COVER, **REVISE** outlet shown so that it is above ceiling per MEP.
5. On drawing 5/COVER, **ADD** outlet per MEP.
6. On drawing 8/COVER, **REVISE** cabinet size and show electrical panel location.
7. On drawing 3/A101, **REVISE** detail.
8. On drawing 5/A101, **ADD** the partition tag to the north wall of TOILET 102.
9. On drawing 5/A101, **REMOVE** dimension stringer in CORRIDOR 109.
10. On drawing 5/A101, **ADD** door operator symbols near door 100.
11. On drawing 5/A101, **ADD** keynote 23 to TOILET 102 for alt. bid #2. Please see 1/ADD1-1 and 2/ADD1-1 attached for details.
12. On drawing 5/A101, **ADD** batt insulation to all perimeter walls (excluding exterior walls) before installing gyp board per keynote 13.
13. On drawing 15/A101, **REVISE** detail.
14. On sheet A/901, **REMOVE** "Division 15 – Mechanical" and "Division 16 – Electrical" in their entirety.
15. On sheet A/901, **REMOVE** "Division 8 – Doors and Windows, Section 8.4 Hardware Schedule" in its entirety and **REPLACE** the following language:

8.4 Hardware Schedule:

- 8.4.1 General:
 - 8.4.1.1 Contractor to verify function of each door and provide any other necessary hardware required for proper operation and code compliance.
 - 8.4.1.2 Provide an allowance of \$500.00 for any miscellaneous hardware required for door operation/code compliance not listed in the schedule below.
- 8.4.2 Set AN – Passage Set (Non-Rated)
 - 8.4.2.1 Doors: 103, 104, 106, 107
 - 8.4.2.2 Passage style latchset with lever handle; 1-1/2 pair hinges; one pair hinge pin stops; silencers.
- 8.4.3 Set BN – Privacy Set (Non-Rated)
 - 8.4.3.1 Doors: 102
 - 8.4.3.2 Privacy lockset with lever handle; 1-1/2 pair hinges; one pair hinge pin stops; silencers.



8.4.4 Set CN – Entry Set (Non-Rated)

8.4.4.1 Doors: 100, 109

8.4.4.2 Entry lockset to match building standards; 1-1/2 pair hinges; one wall stop; silencers

8.4.4.3 At Alternate Bid #1, Provide and Install (1) LCN 4640 Series Power Door Operator, (2) LCN 8310 – 4-1/2" Wall Mount Actuators, (1) Adams Rite 7140 Electric Strike, and all necessary accoutrement on Door 100. The doors' function shall be as follows.

8.4.4.3.1 The default door condition shall be closed and latched

8.4.4.3.2 When the power operator is turned on at the unit: Upon pressing either actuator, the electric strike will release, the power operator will activate and the door shall open.

8.4.4.3.3 When the power operator is turned off at the unit, the power actuators will be inactive and the electrical strike will be secured.

8.4.4.3.4 The electric strike will be fail-secure.

8.4.5 Set DN – Office Set (Non-Rated)

8.4.5.1 Doors: 101, 105, 108

8.4.5.2 Office lockset with lever handle; 1-1/2 pair hinges; one wall stop; silencers.

Item No 2: Pre-Bid Walkthrough Questions and Comments:

1. Energy management system is thermal components.
2. The electrical panel for the suite will be placed in Office 105 as shown on the drawings. The meter for the suite will be placed in the adjoining electrical closet.
3. Please see 3/ADD1-1 attached for closure strip detail. This detail is to be maintained at all points along the exterior wall.
4. All work that requires access to public corridors or other suites shall be completed after the hours of 6:00 pm or before the hours of 7:00 am.
5. All bids are due July 7, 2016 at 2:00 pm central time.
 - a. Please include a divisional breakdown and timeline in your bid.
 - b. bcDESIGNGROUP will supply all bidders with a typical bid form to be used for bid.
 - c. HCP will choose the low bid
 - d. Email bids to George Phelps (GPhelps@holladayprop.com). Please also include Sara Madson (SMadson@holladayprop.com) and Kurt Broeckelmann (KurtB@bc-dg.com).
6. This property is a timeshare. It is not affiliated with HCA Properties.
7. Consolidated Fire Protection is the approved fire sprinkler vendor and the approved vendor for the fire alarm system.
8. All fire sprinkler work must be completed after the hours of 6:00 pm or before the hours of 7:00 am.
9. Sprinkler heads require cages throughout the construction process.
10. There are currently no smoke detectors in the space.
11. Column L9 as referred to on M100 is located on 10/COVER.
12. For information on existing building systems, or to access the site again before bids are due, please contact David Lucas (DLucas@holladayprop.com).

Attachments:

1. Typical Bid Form
2. ADD1-1
3. Sheet COVER
4. Sheet A101

Submitted by: Hilary Collert
bcDESIGNGROUP

End of Addendum Number 1

bcDESIGNGROUP

100 E Park Street, Suite 202
Olathe, Kansas 66061
913.232.2123



Proposal to the Owner: Centerpoint Medical Center – Suite 320
19550 East 39th Street, Suite 320
Independence, Missouri 64057

Proposal from: _____ (Name of Bidder)
_____ (Address of Bidder)

Project Title: Suite 320 Timeshare
19550 East 39th Street, Suite 320
Independence, Missouri 64057

Date of Bid Proposal: July 7, 2016 2:00 pm Central

1.1 BID PROPOSAL AMOUNTS

- A. The undersigned, in compliance with the "Invitation and Instructions to Bidders", proposes to perform the Work in accordance with Contract Documents prepared by bcDESIGNGROUP, LLC. The undersigned, having examined the Contract Documents and related documents and the Site of the proposed Work and being familiar with all the conditions affecting the construction of the proposed Work, including the availability of materials and supplies, agrees to furnish all labor and materials, equipment and services necessary for the proper completion of the work, including General Construction, Mechanical, Plumbing and Electrical Work at the prices stated below, which stated sums include taxes, fees and all other charges applicable to materials, appliances, labor and all things subject to and upon which taxes or other charges may be levied.
- B. In the Bid Proposal prices, the amounts shall be shown in both words and figures. In the case of discrepancy between the words and the figures, the words shall govern.

1.2 BASE BID

- A. (Including allowances outlined in the Drawings and Specifications.)

_____ Dollars (\$ _____)

- B. **Alternate Bid #1** Install door operator and accessories at Door 100 as specified in Addendum 1.

_____ Dollars (\$ _____)

- C. **Alternate Bid #2** At toilet 102, do not include wall hung lavatory and instead install a solid surface counter with under-mounted sink per Addendum 1.

_____ Dollars (\$ _____)

- D. **Alternate Bid #3** For all 2x4 lights, use direct/indirect lights as specified by MEP.

_____ Dollars (\$ _____)

1.3 PERFORMANCE AND LABOR AND MATERIAL PAYMENT BONDS

- A. Certify Cost: By signing and submitting this Bid Proposal, the Contractor certifies that upon demand, Performance and Labor and Material Payment Bonds can be furnished in amounts sufficient to cover the total proposed cost of the Work. In the event that the Owner shall require Contractor to provide Performance and Labor and Material Bonds for Project, the following sums shall be paid as additional compensation to the Contractor by the Owner:

Performance and Labor and Material
Payment Bonds for Base Bid Work Only \$_____

1.4 CHANGES IN THE WORK

- A. When the changes in the work are ordered which increase the Scope of Work, the Work shall be performed for the net cost to the Contractor plus a fee. This fee shall be:
- _____ percent (___%) of the net cost. (To be filled in by Bidder).
- B. When the Scope of Work is reduced, the undersigned agrees to credit the Owner the net cost of the value of the Work.

1.5 ADDENDA

- A. The Bidder hereby acknowledges receipt of and inclusion in the Bid Proposal of the following issues of addenda, if any, distributed by the Architect.

Addendum No. and Date

_____	YES	NO
_____	YES	NO
_____	YES	NO
_____	YES	NO

1.6 TIME OF COMMENCEMENT, COMPLETION AND DAMAGES

- A. The Bidder agrees that, if awarded the Contract, the Work will be substantially complete, ready for occupancy by Owner, within the following consecutive calendar days (Saturday, Sunday and Holidays included) from the time of receipt of Notice to Proceed, except for delays caused by Strikes, Acts of God, neglect of the Owner or the representative of the Owner or other causes beyond the Contractor's control.

_____ Consecutive Calendar Days. (To be filled in by Bidder).

- B. Time is expressly declared to be of the essence in completion of the Work covered by the Contract Documents and the Contractor shall be liable for actual damages for delay in completion of the Work. Where additional time is allowed under the Agreement for the completion of the work, the new time limits shall be of the essence of the Agreement.

1.7 GENERAL AGREEMENTS

- A. The Bidder agrees to the following:
1. The Bidder has had an opportunity to examine the Site of the Work and has examined the Contract Documents.
 2. The Bidder has carefully prepared the Bid Proposal upon the basis thereof and has carefully examined and checked the Bid Proposal and the materials, equipment and labor required there under, the cost thereof, and figures therefore, and hereby states that the amount or amounts set forth in the Bid Proposal is, or are, correct and that no mistake or error has occurred in the Bid Proposal or in the Bidder's computations upon which the Bid Proposal is based and the Bidder agrees that no claim for reformation, modification, rescission or correction of the Bid Proposal will be made after the scheduled closing time for the receipt of Bid Proposals.
 3. The Bidder understands that the Owner reserves the right to reject any or all Bids and to waive any informalities in the bidding.
 4. The Bidder agrees that this Bid shall not be withdrawn for period of 30 calendar days after the scheduled closing time for receiving Bids.
 5. The Bidder understands that the Owner will not be liable for any amount in excess of the Stipulated Sum, except as expressly stated in written Change Orders duly executed and delivered by the Owner.

6. In preparing the Bid Proposal, the Bidder has verified and is reasonably assured of the availability of all labor, materials and products in this document.

1.8 CIVIL RIGHTS

- A. Signing the Bid Proposal is certification that the Bidder, in compliance with the "Equal Opportunity" provisions of the Supplementary Conditions, does not or will not discriminate against any employee on the basis of race, religion, color, sex, national origin or age (per The Age Discrimination in Employment Act of 1967). The Bidder further certifies that the Bidder does not maintain or provide for employee facilities which are segregated on any of the above categories.

Dated this _____ day of _____, 2016

(Name of Firm)

(Street Address)

(City, State, Zip)

(Signed By and Title)

Please check as appropriate:

An individual

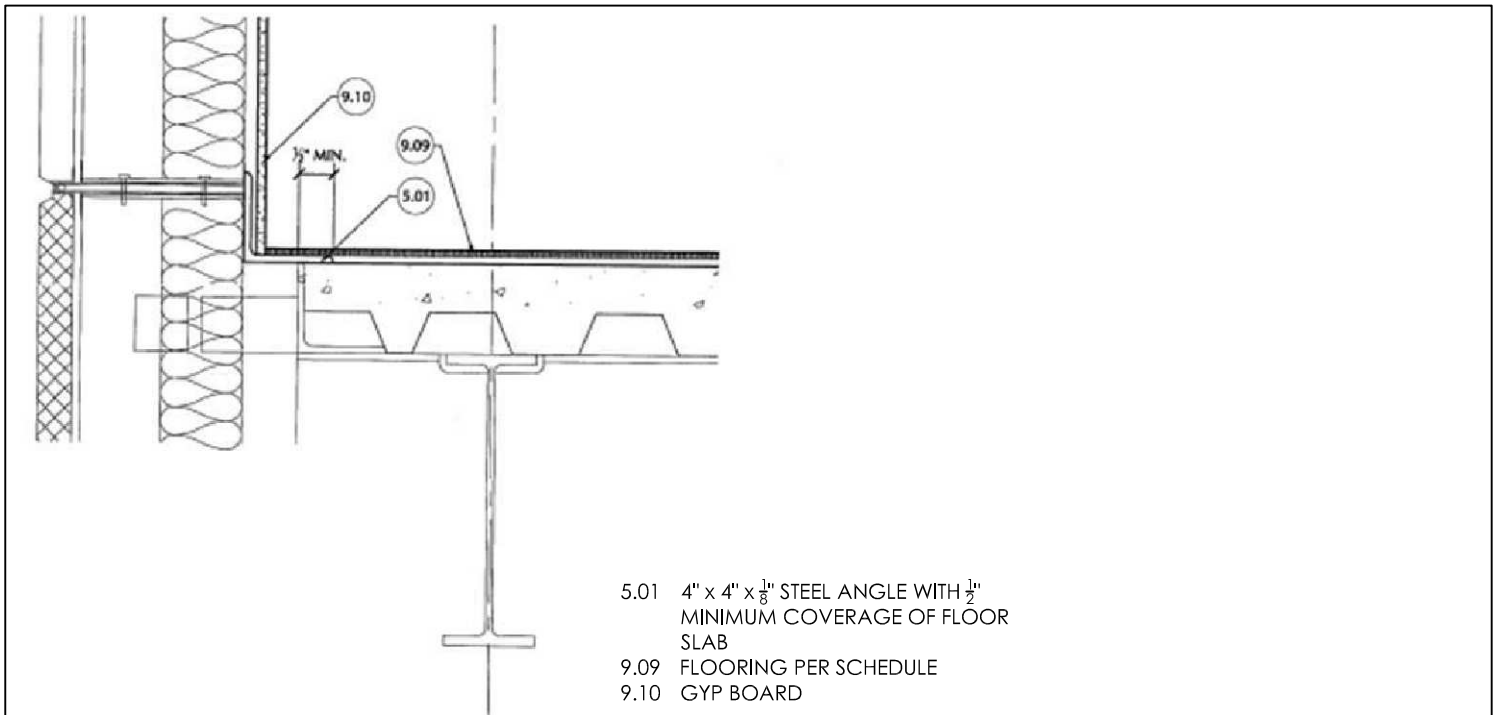
A partnership between:

*

*

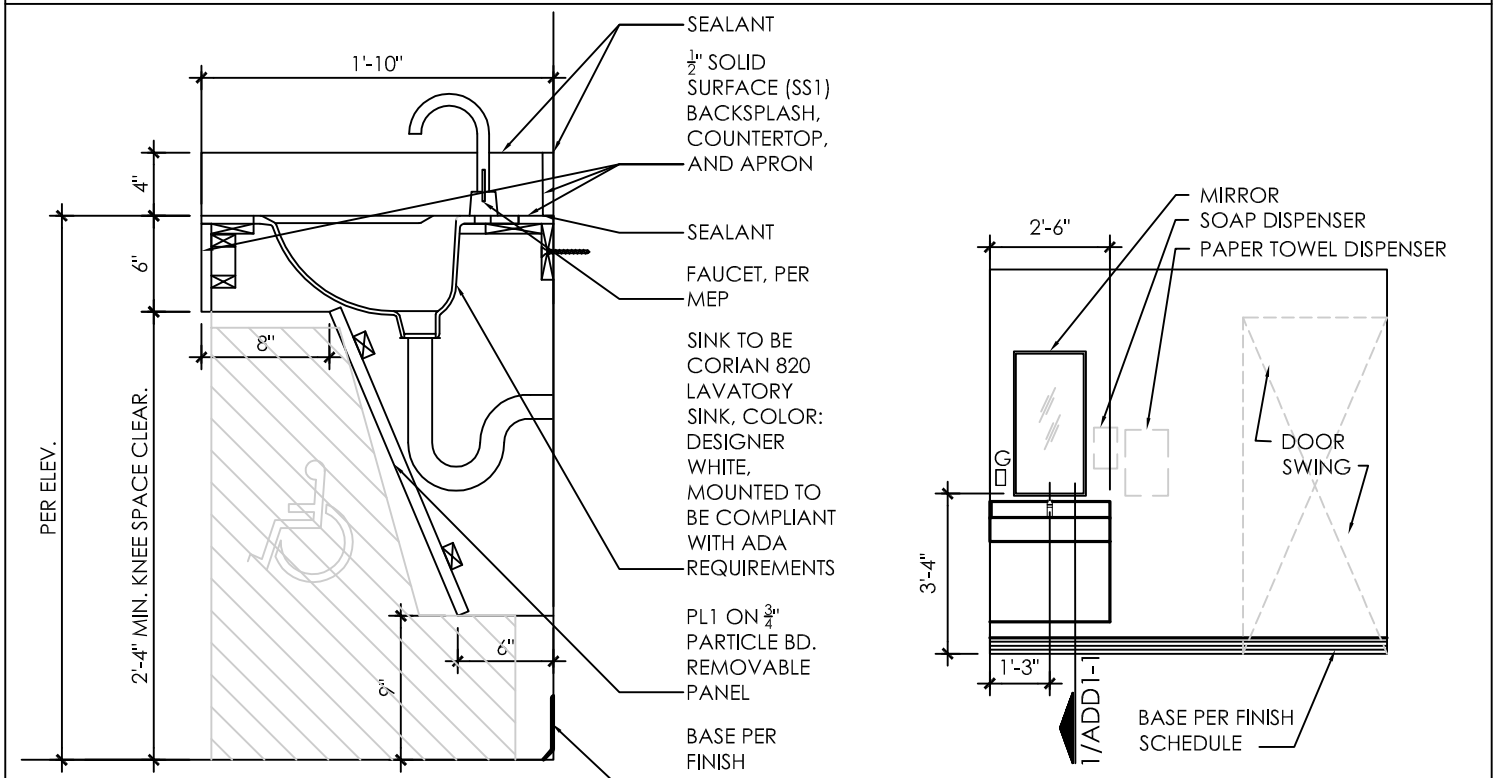
A corporation organized under the laws of the

State of _____



3 FLOOR CLOSURE DETAIL

SCALE: NTS



1 SECTION

SCALE: 1" = 1'-0"

2 ELEVATION

SCALE: 1/4" = 1'-0"



PROJECT: Centerpoint Suite 320 Timeshare

bc DESIGN GROUP
 200 NE Missouri Rd, Suite 200
 Lee's Summit, MO 64086

913.232.2123

Number: 16030.01

Date: 06.23.2016

Scale: As Noted

SHEET

ADD1-1

Centerpoint Medical Center Suite 320 Timeshare

19550, East 39th Street, Suite 320, Independence, Missouri 64057

Bid Set - 06.22.2016



bc DESIGNGROUP

200 NE Missouri Rd, Suite 200
Lee's Summit, MO 64086

913.232.2123

MO Certificate of Authority Number
A-201103790

GENERAL OVERVIEW:

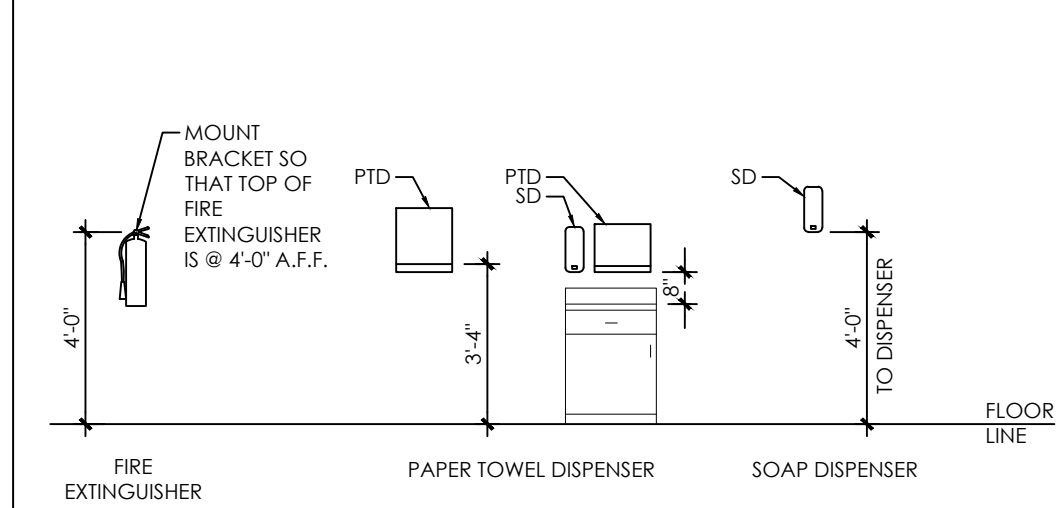
TYPE OF CONSTRUCTION:
TENANT IN-FILL
FACILITY NAME:
CENTERPOINT MEDICAL OFFICE BUILDING
FACILITY ADDRESS:
19600 E 39TH STREET
CITY:
INDEPENDENCE
STATE:
MISSOURI
LOCAL BUILDING INSPECTION DEPARTMENT:
INDEPENDENCE, MISSOURI
ARCHITECT:
bcDESIGNGROUP
200 NE MISSOURI RD, SUITE 200
LEE'S SUMMIT - MISSOURI - 64086
CODES/REGULATIONS UTILIZED TO DESIGN RENOVATION:
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2011 NATIONAL ELECTRICAL CODE
AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES

PROJECT DESCRIPTION:

GENERAL OVERVIEW:
TENANT IN-FILL OF SHELL SPACE IN THIRD STORY OF
MEDICAL OFFICE BUILDING
OCCUPANCY: USE GROUP B
EXISTING CONSTRUCTION TYPE: TYPE IIB
BUILDING AREA:
EXISTING TOTAL BUILDING AREA: 201,404 GSF
TOTAL IN-FILL AREA: 1,378 GSF = BUSINESS OCCUPANCY
OCCUPANT LOAD:
1,378 GSF / 100 SF/PERSON = 14 OCCUPANTS
STRUCTURAL FIRE PROTECTION:
ITEM: EXISTING: NEW:
EXTERIOR BEARING WALLS NOT RATED NO WORK
INTERIOR BEARING WALLS NOT RATED NO WORK
EXTERIOR NON-BEARING WALLS NOT RATED NO WORK
STRUCTURAL FRAME NOT RATED NO WORK
PERMANENT PARTITIONS NOT RATED NO WORK
SHAFT ENCLOSURES 1 HOUR NO WORK
FLOORS NOT RATED NO WORK
ROOF(S) NOT RATED NO WORK
EXTERIOR OPENINGS NOT RATED NO WORK
STAIRWAY CONSTRUCTION 1 HOUR NO WORK

14 CODE NOTES

SCALE: NTS

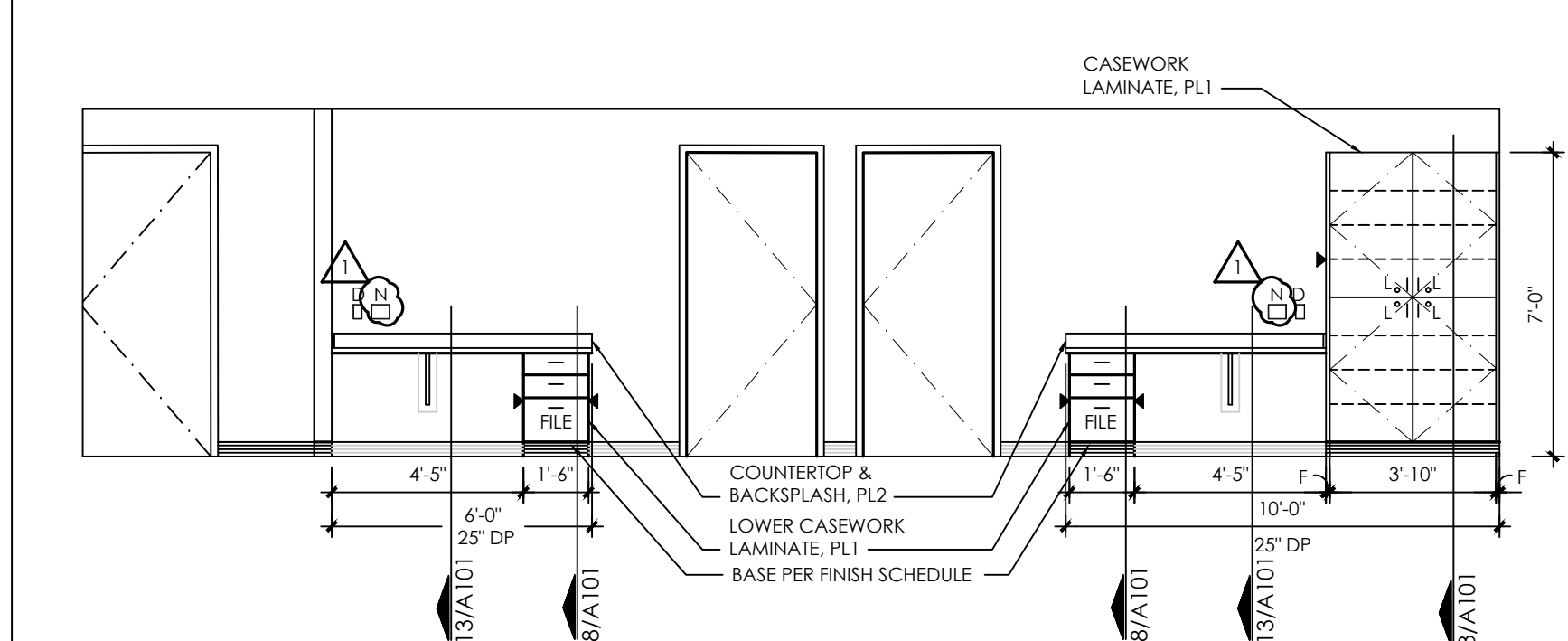


INSTALLATION GUIDELINES NOTES

- CONTRACTOR SHALL REINFORCE WALLS AT LOCATIONS OF TOILET ACCESSORIES WITH METAL OR F.T. WOOD BLOCKING.
- CONTRACTOR SHALL COORDINATE FLUSH VALVES WITH GRAB BARS.
- ALL FLUSH VALVES SHALL BE LOCATED ON OPEN SIDE OF TOILET.
- AT ITEMS SHOWN TO BE RECESSED INTO A FIRE RATED WALL, CONSTRUCT A 5-SIDED BOX AROUND RECESSED ITEM. BOX SHALL BE 5/8" TYPE 'X' GYP. BD. TO MAINTAIN RATING.
- SEE REFERENCED INTERIOR ELEVATIONS FOR ADDITIONAL MOUNTING HEIGHTS.

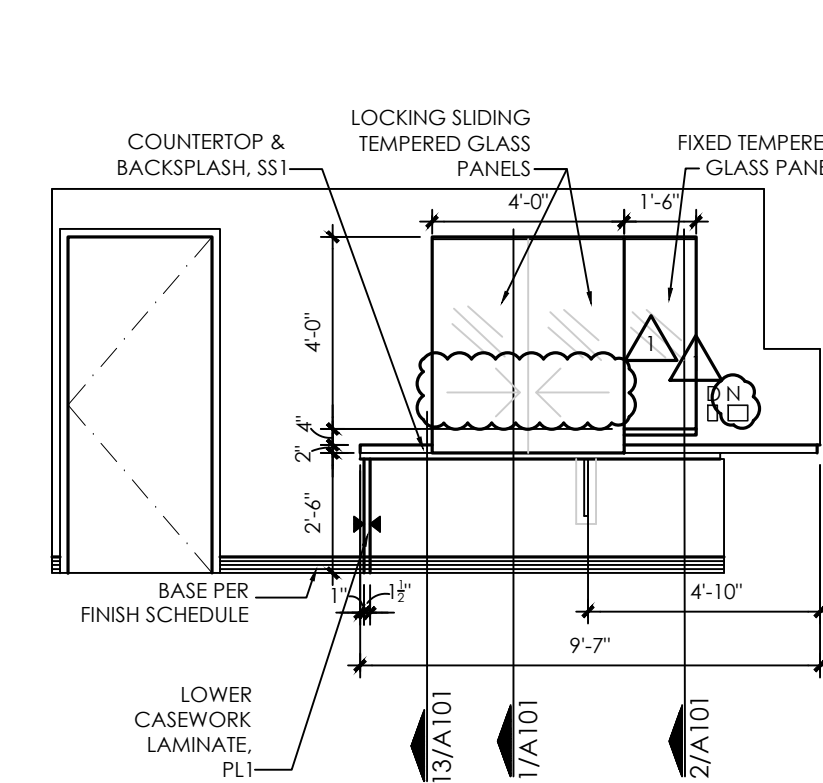
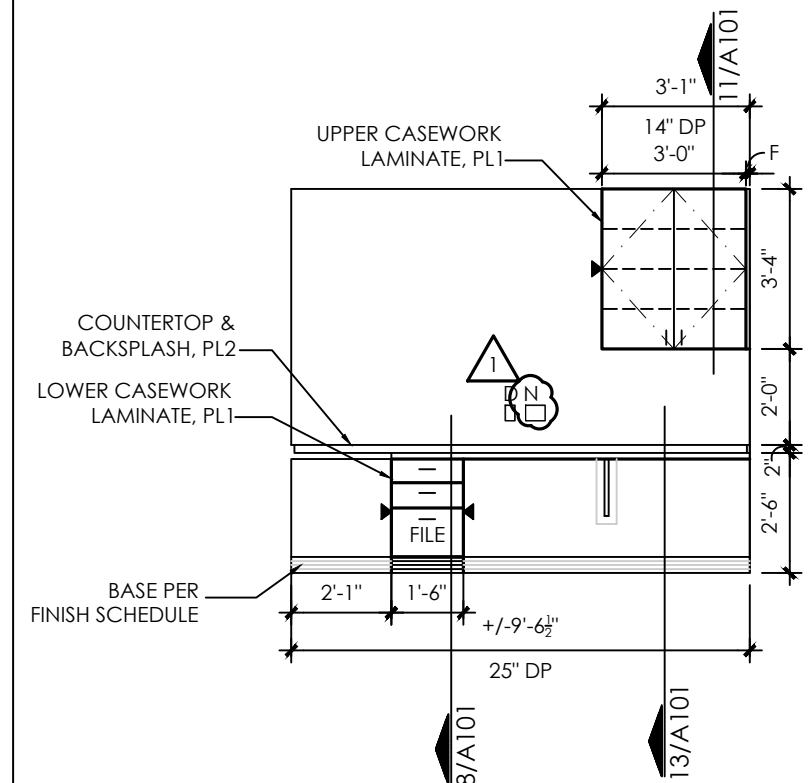
12 INSTALLATION GUIDELINE NOTES

SCALE: 1/4" = 1'-0"



9 ELEVATION

SCALE: 1/4" = 1'-0"

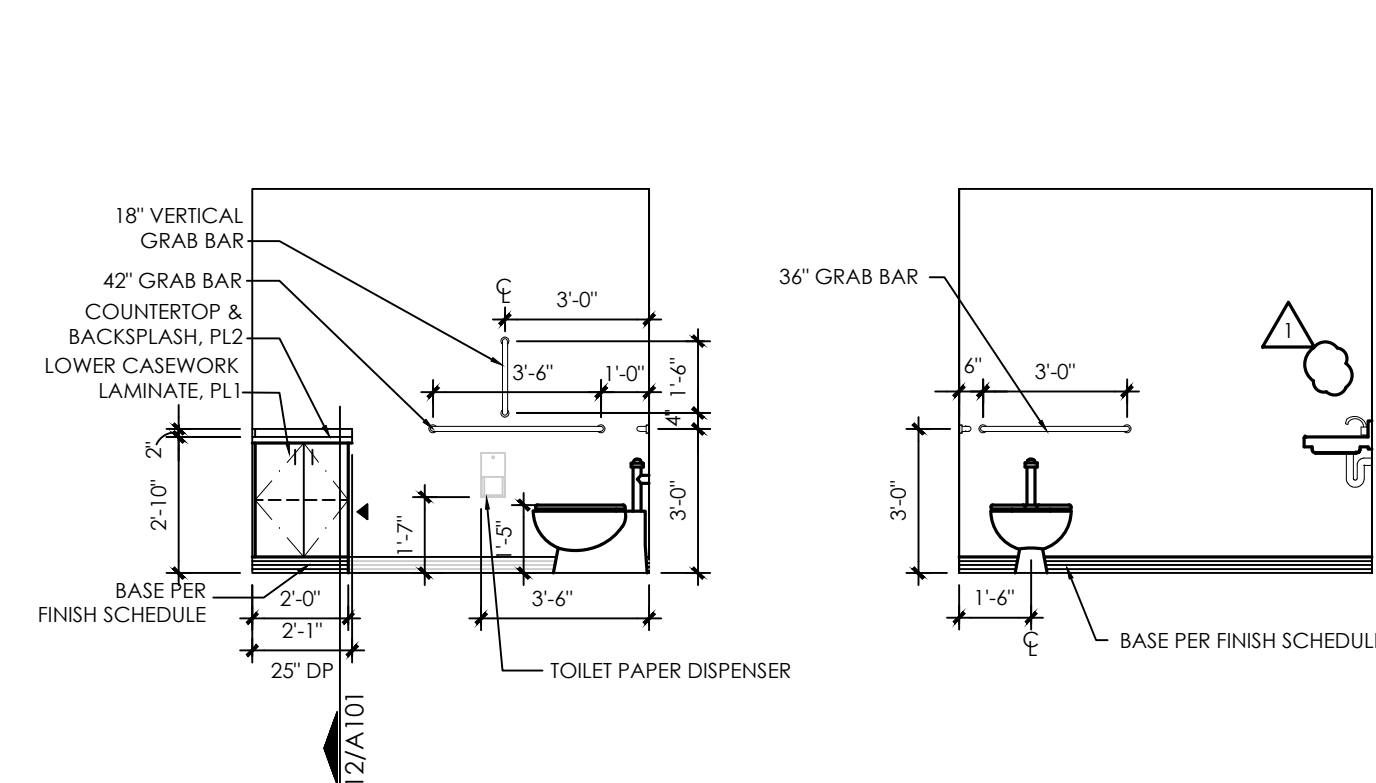


1 ELEVATION

SCALE: 1/4" = 1'-0"

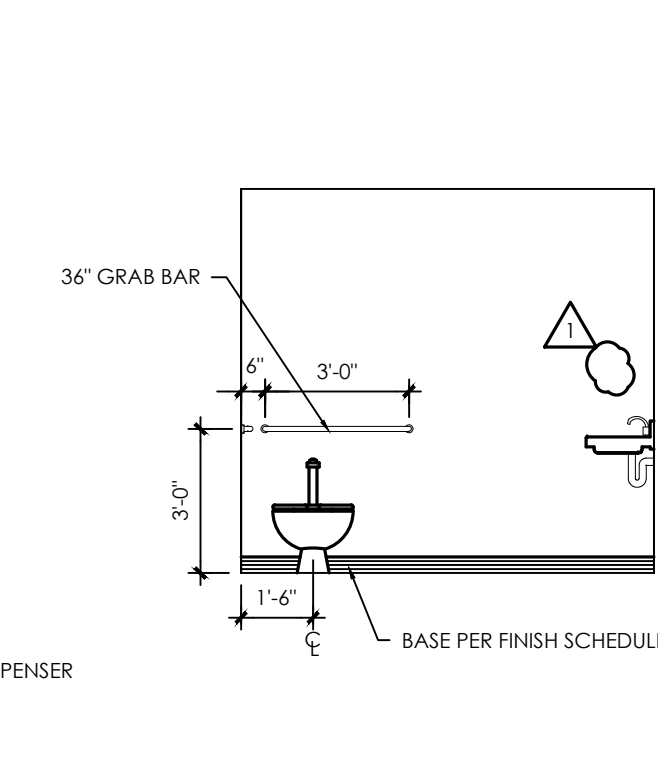
2 ELEVATION

SCALE: 1/4" = 1'-0"



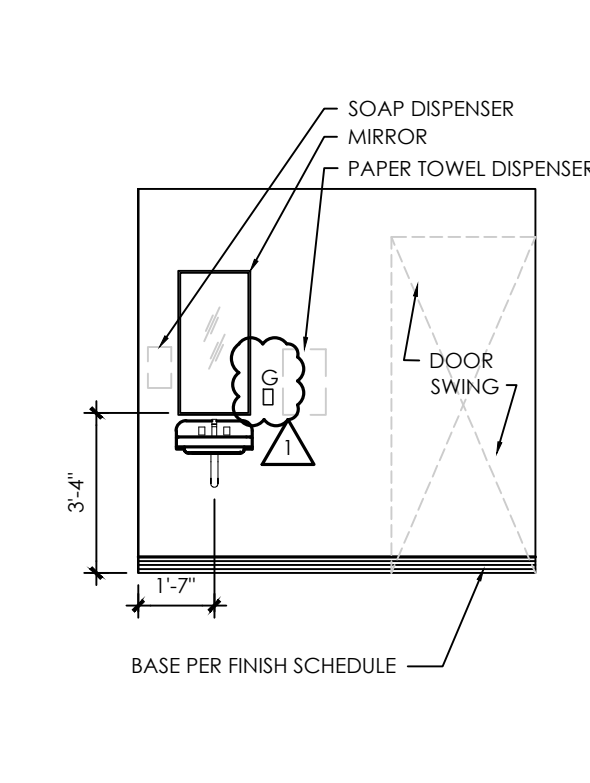
3 ELEVATION

SCALE: 1/4" = 1'-0"



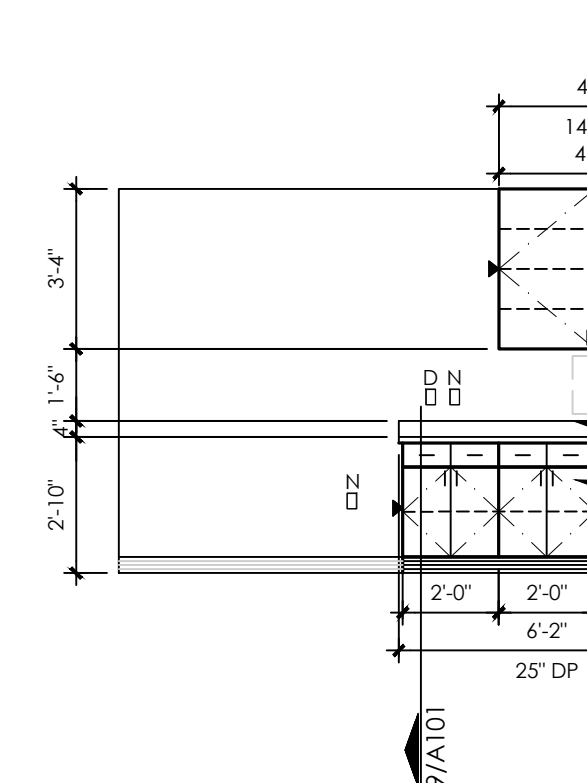
4 ELEVATION

SCALE: 1/4" = 1'-0"



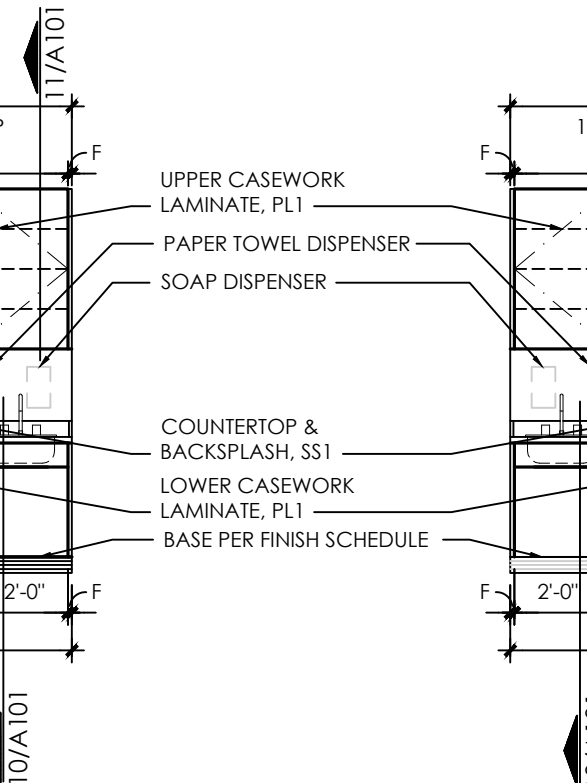
5 ELEVATION

SCALE: 1/4" = 1'-0"



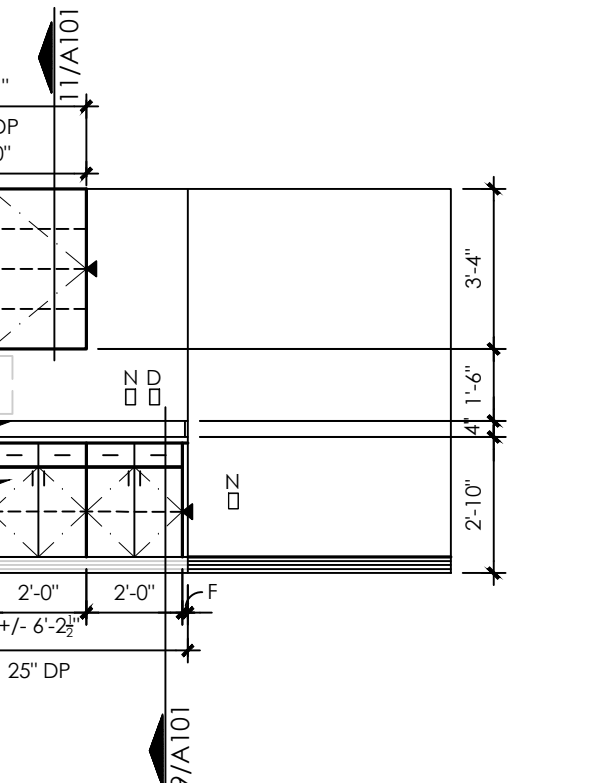
6 ELEVATION

SCALE: 1/4" = 1'-0"



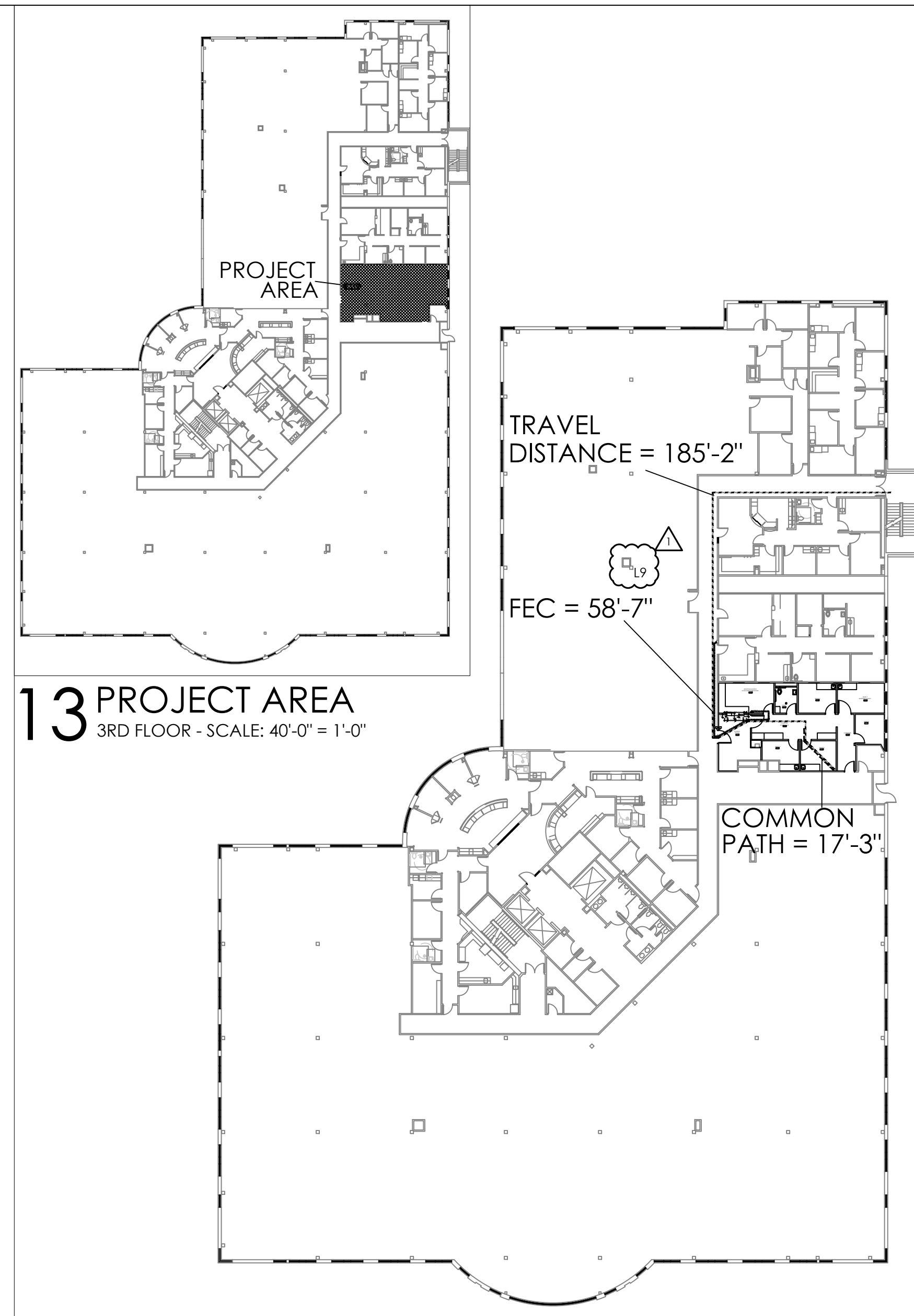
7 ELEVATION

SCALE: 1/4" = 1'-0"



8 ELEVATION

SCALE: 1/4" = 1'-0"



13 PROJECT AREA

3RD FLOOR - SCALE: 40'-0" = 1'-0"

GENERAL:

COVER PROJECT INFORMATION, CODE PLAN, ELEVATION, DETAILS

ARCHITECTURAL:

A101 FLOOR AND REFLECTED CEILING PLANS, SECTIONS & DETAILS
A901 PROJECT SPECIFICATIONS

MEP:

ME100 MEP LEGEND
ME200 SCHEDULES AND DETAILS - MECHANICAL AND ELECTRICAL
ME300 SPECIFICATIONS - MECHANICAL AND ELECTRICAL
ME301 SPECIFICATIONS - MECHANICAL AND ELECTRICAL
ME302 SPECIFICATIONS - MECHANICAL AND ELECTRICAL
M100 FLOOR PLANS - MECHANICAL
E100 FLOOR PLANS - ELECTRICAL
E200 SCHEDULES AND DETAILS - ELECTRICAL

INTERIOR ELEV. NOTES:

- RADIUS OUTSIDE CORNER OF ALL COUNTERTOPS 1-1/2" TYPICAL.
- FEP SHALL MEAN FINISHED END AT AN EXPOSED CABINET.
- ALL EXPOSED ENDS OF CABINETS TO BE FINISHED, TYP.
- AT ALL CABINET 3'-0" WIDE OR GREATER, SHELVES SHALL BE 1" THICK.
- PROVIDE GROMMETS IN COUNTERTOPS AT EACH COMPUTER/EQUIPMENT FOR ACCESS TO OUTLET BELOW. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION.

INTERIOR ELEV. LEGEND:

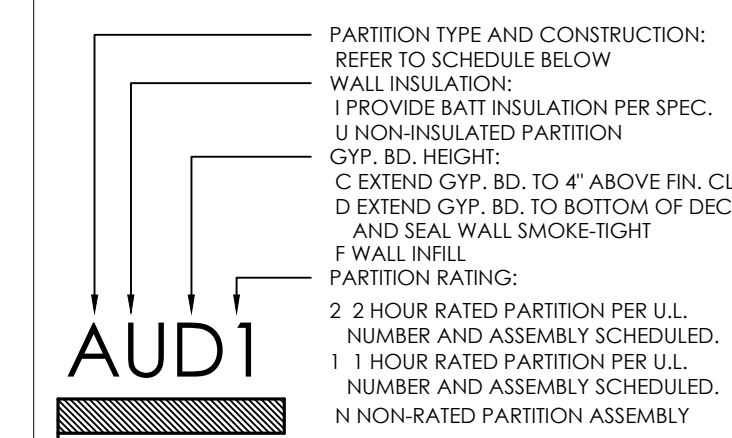
- DUPLX RECEPTACLE - NORMAL POWER
- DATA OUTLET, RE: MEP
- FINISHED END PANEL
- CABINET LOCK

DRAWING INDEX

- THESE NOTES APPLY EQUALLY TO THE FULL SET OF DOCUMENTS.
- THE NOTES AND SYMBOLS SET DOWN ON THESE DRAWINGS ARE FOR THE GUIDANCE OF ALL TRADES INVOLVED IN THE PROJECT AND MUST BE FOLLOWED TO EXECUTE THE WORK AS INTENDED.
- THE CONTRACTOR SHALL REFER TO THE DRAWINGS FOR DETAILS OF BUILDING CONSTRUCTION TO INSURE SPACE AND SATISFACTORY ARRANGEMENT FOR THEIR WORK. THE VARIOUS DRAWINGS COMPRISING THE SET ARE INTERDEPENDENT AND MUST BE USED JOINTLY AT ALL TIMES. EACH CONTRACTOR SHOULD REFER TO THE GENERAL REQUIREMENTS OF THE CONTRACT. IF DISCREPANCIES OCCUR, CONTACT THE ARCHITECT THRU THE GENERAL CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ALL WORK MUST BE COORDINATED WITH BUILDING MANAGEMENT TO MAINTAIN OPERATION OF THE EXISTING CAMPUS ACTIVITY. ALL WORK THAT AFFECTS CAMPUS ACTIVITIES, INCLUDING UTILITY TIE-INS, ETC. SHALL BE DONE AFTER BUILDING HOURS.
- USE DIMENSIONAL INFORMATION GIVEN. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TYPICALLY INDICATED TO THE FINISHED FACE OF WALLS OR PARTITIONS AND CENTER LINES OF COLUMNS UNLESS NOTED OTHERWISE.
- TITLES, CAPTIONS, HEADINGS, ETC., ARE INTENDED FOR GENERAL REFERENCE AND ARE NOT INTENDED TO LIMIT THE WORK REQUIRED IN ANY WAY.
- EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHERS. HE SHALL KEEP HIMSELF INFORMED OF THE PROGRESS AND DETAIL DEVELOPMENT OF THE WORK OF OTHERS AND SHALL BE RESPONSIBLE FOR COORDINATING AND EXPEDITING HIS WORK WITH THAT OF OTHERS SO THAT THE PROGRESS OF THE TOTAL WORK SHALL BE KEPT ON SCHEDULE.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL GOVERNING CODES AND STANDARDS.
- EXISTING CONDITIONS SHOWN HAVE BEEN BASED UPON AVAILABLE DRAWING INFORMATION AND MAY BE AT VARIANCE WITH ACTUAL WORK IN PLACE. THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS AND FIELD VERIFY ALL CONDITIONS AFFECTING THE EXECUTION OF THE WORK. ANY WORK SHOWN ON THE CONTRACT DOCUMENTS WHICH MAY IMPACT THE PROGRESS OF THE WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- EACH CONTRACTOR AND/OR TRADE FITTING OR PLACING HIS WORK INTO OR ON THE WORK OF OTHERS DOES SO WITH THE UNDERSTANDING THAT THE INSTALLATION OF HIS WORK CONSTITUTES HIS ACCEPTANCE OF THE SUITABILITY OF THE WORK IN PLACE. IF THE WORK OF OTHERS IS NOT ACCEPTABLE, HE SHALL NOTIFY THE GENERAL CONTRACTOR AND SUCH WORK SHALL BE CORRECTED. ANY NEW WORK INSTALLED IN UNSUITABLE EXISTING WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR TRADE INSTALLING THE NEW WORK. NO CLAIMS FOR ADDITIONAL COMPENSATION FOR CORRECTING WORK INSTALLED IN UNSUITABLE EXISTING CONDITIONS WILL BE CONSIDERED.

GENERAL NOTES

PARTITION TAGS



TYPE	THICKNESS	PLAN DETAIL	HEAD	SILL	U.L. #
A	4-7/8"	3 5/8" MTL STUDS @ 16" O.C., TYP. REFER TO PART. TAG FOR INSUL. 5/8" GYP. BD. EACH SIDE METAL STUDS	ACoustICAL BATT. SCHED. CLG.	CONT. FIRE CAULK PER SPEC. BOTH SIDES	N/A
B	3-1/8"	2 1/2" MTL STUDS @ 16" O.C., TYP. REFER TO PART. TAG FOR INSUL. 5/8" GYP. BD. ONE SIDE METAL STUDS	ACoustICAL BATT. SCHED. CLG.	CONT. FIRE CAULK PER SPEC. THIS SIDES	N/A

PARTITION NOTES

- ALL GYP. BD. ABUTTING OTHER MATERIAL TO BE FINISHED WITH TRIM BEAD AND JOINT COMPOUND.
- ALL WOOD AND PLYWOOD BLOCKING TO BE FIRE TREATED.
- DOOR FRAMES ARE TYPICALLY SHOWN 2" FROM FACE OF PERPENDICULAR WALL UNO.
- ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL COMPLY WITH ASTM E-814.
- PARTITIONS TO BE BUILT IN ACCORDANCE WITH PARTITION SCHEDULE AND DESIGN REFERENCED. ALL REFERENCES ARE TO THE LATEST EDITION OF THE GYPSUM ASSOCIATION OR UNDERWRITERS LABORATORIES INC. FIRE RESISTANCE DIRECTORIES.
- PARTITION TYPES ARE GENERAL TO ALL WALL TYPES. REFER TO DETAILS FOR SPECIAL CONDITIONS AND SITE REQUIREMENTS.

11 PARTITION LEGEND

SCALE: NTS

Project Title:
Centerpoint Medical Center
Suite 320 Timeshare
19550 East 39th Street, Suite 320, Independence, Missouri 64057

Kurt M. Broeckelmann, Architect
A-2007007677

Issue Date: 06.22.2016
Revision No 1: 6.23.2016
Revision No 2:
Revision No 3:
Revision No 4:

Project Number: 16030.01

COVER
PROJECT INFORMATION,
CODE PLAN, ELEVATION,
DETAILS

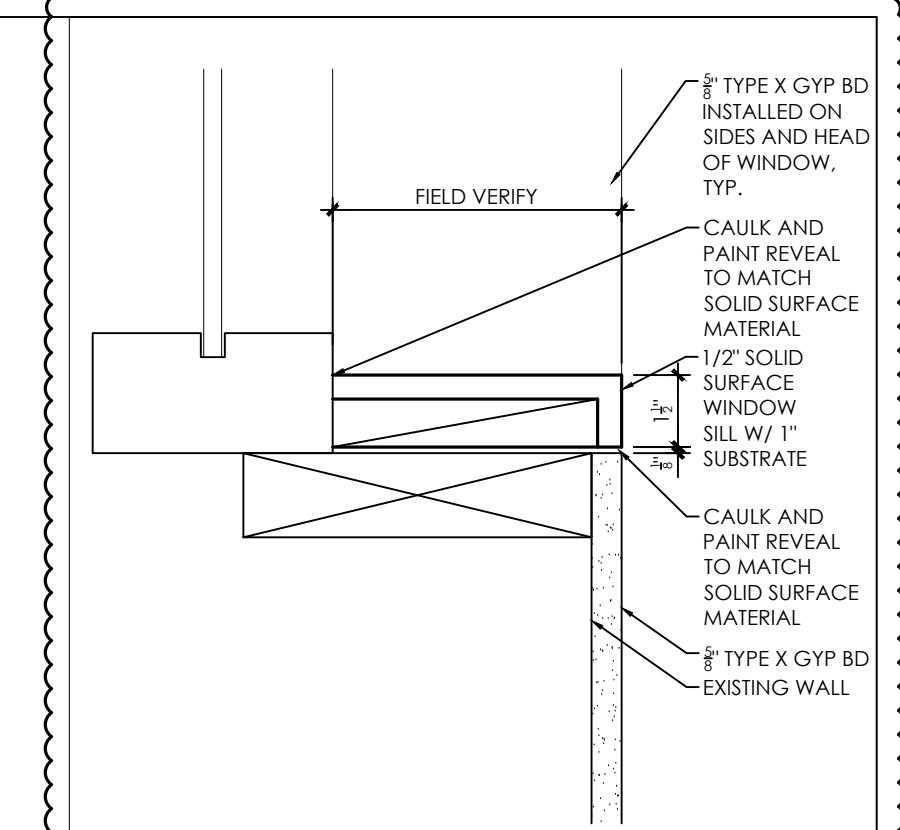


bc DESIGN GROUP

200 NE Missouri Rd, Suite 200
Lee's Summit, MO 64086

913.232.2123

MO Certificate of Authority Number
A-2011037290



15 DETAIL
SCALE: 3" = 1'-0"

FINISH LEGEND:

- 1 FINISH PLAN NOTE
- FINISHES PER ROOM
- XXX FLOOR FINISH
 - XXX WALL BASE
 - XXX WALL FINISH
- LUXURY VINYL TILE
- LV11 UP/FLOOR, XPRESSION 1514 CHESTNUT, 7' X 48"
- RUBBER BASE
- R81 JOHNSONITE, CHARCOAL 20
- SOLID SURFACE
- S51 CORIAN, CONCRETE
- HIGH PRESSURE LAMINATE
- PL1 WILSONART, WHITE CYPRESS 7976K
 - PL2 WILSONART, PEWTER MESH 4848-38
- PAINT
- PT1 SHERWIN WILLIAMS, REPOSE GRAY SW7015 (WALLS)
 - PT2 SHERWIN WILLIAMS, ROYCRIFT PEWTER SW2848 (FRAME)
 - PT3 SHERWIN WILLIAMS, MINERAL DEPOSIT SW7652 (ACCENT)

FINISH PLAN NOTES:

1 NOT USED

GEN. FINISH NOTES:

1. WALL FINISH, AS INDICATED, ARE TO BE FULL HEIGHT (FLOOR TO CEILING) UNLESS NOTED OTHERWISE.
2. CHANGE OF COLOR SHALL OCCUR AT INSIDE CORNERS. DO NOT CHANGE ON AN OUTSIDE CORNER UNLESS OTHERWISE NOTED.
3. THE FOLLOWING ITEMS, EXCEPT WHERE NOTED OTHERWISE, SHALL BE FINISHED TO MATCH ADJACENT COLOR: ELECTRICAL PANELS, AIR GRILLES, LOUVERS, AND ACCESS PANELS.
4. PAINT FINISH ON DRYWALL SURFACES TO BE "SATIN" OR EQUIVALENT FINISH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS FOR PAINT FINISH ON OTHER SURFACES.
5. ALL SURFACES OF THE SOFFITS (BOTH VERTICAL AND HORIZONTAL PLANES) SHALL BE FINISHED AS NOTED IN THE REFLECTED CEILING PLAN OR ENLARGED FLOOR PLANS.
6. CAULK ALL TRIM, CASINGS, DOORS, WINDOWS, AND OTHER WOODWORK TO WALL AND ADJACENT MATERIALS WITH APPROPRIATE PAINTABLE CAULK PRIOR TO PAINTING, SAND AND PREP ALL WOODWORK, WINDOWS, DOORS, ETC. PRIOR TO FINISHING FOR A CLEAN, SMOOTH FINISH. ALL INTERIOR CAULKING SHALL MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
7. ALL TRANSITION STRIP COLORS TO BE SELECTED BY THE INTERIOR DESIGNER. THE FLOORING CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ALL TRANSITIONS NECESSARY FOR CHANGES IN FLOOR FINISH.
9. FLOORING TO REMAIN CLEAN AND PROTECTED UNDER CONSTRUCTION.
10. DO NOT USE A SECTION OF RUBBER BASE LESS THAN 48" IN LENGTH UNLESS THE WALL ON WHICH THE BASE OCCURS IS LESS THAN 48".
11. WHERE TWO OR MORE FLOORING FINISHES ARE CALLED OUT PER ROOM, SEE THE FLOOR PLAN FOR PATTERN AND CLARIFICATION.
12. WHERE TWO OR MORE WALL FINISHES ARE CALLED OUT PER ROOM, SEE THE FLOOR PLAN AND/OR ELEVATIONS FOR CLARIFICATION. ACCENT PAINT COLORS ARE SHOWN ON THE FLOOR PLAN. ALL OTHER WALLS TO BE PT1.
13. ALL DOOR FRAMES TO BE PAINTED PT2.
14. ALL DOORS TO BE STAINED TO MATCH LAMINATE PL1 EXCEPT THE OUTSIDE FACE OF DOORS LOCATED IN THE PUBLIC CORRIDOR. FACES OF PUBLIC CORRIDOR DOORS ARE TO BE STAINED TO MATCH BUILDING STANDARD.
15. ALL FLOOR FINISH TRANSITIONS ARE TO OCCUR AT THE CENTERLINE OF THE DOOR WHEN THE DOOR IS IN CLOSED POSITION.

RCP LEGEND:

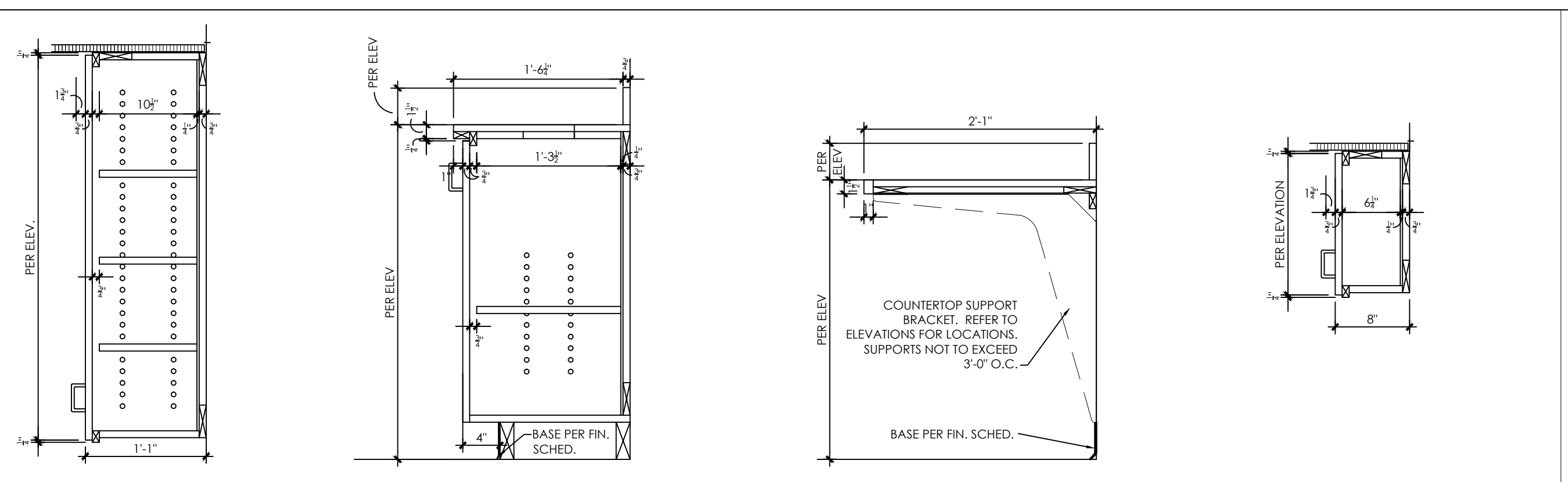
- NEW CEILING TILE & GRID
- GYP. BD. SOFFIT/CEILING
- NEW 2x4 LIGHT
- SUPPLY GRILLE
- RETURN GRILLE
- EXHAUST FAN
- LIGHTED EXIT SIGN
- SECTION TAG
- CEILING HEIGHT
- EMERGENCY LIGHT

GEN. RCP NOTES:

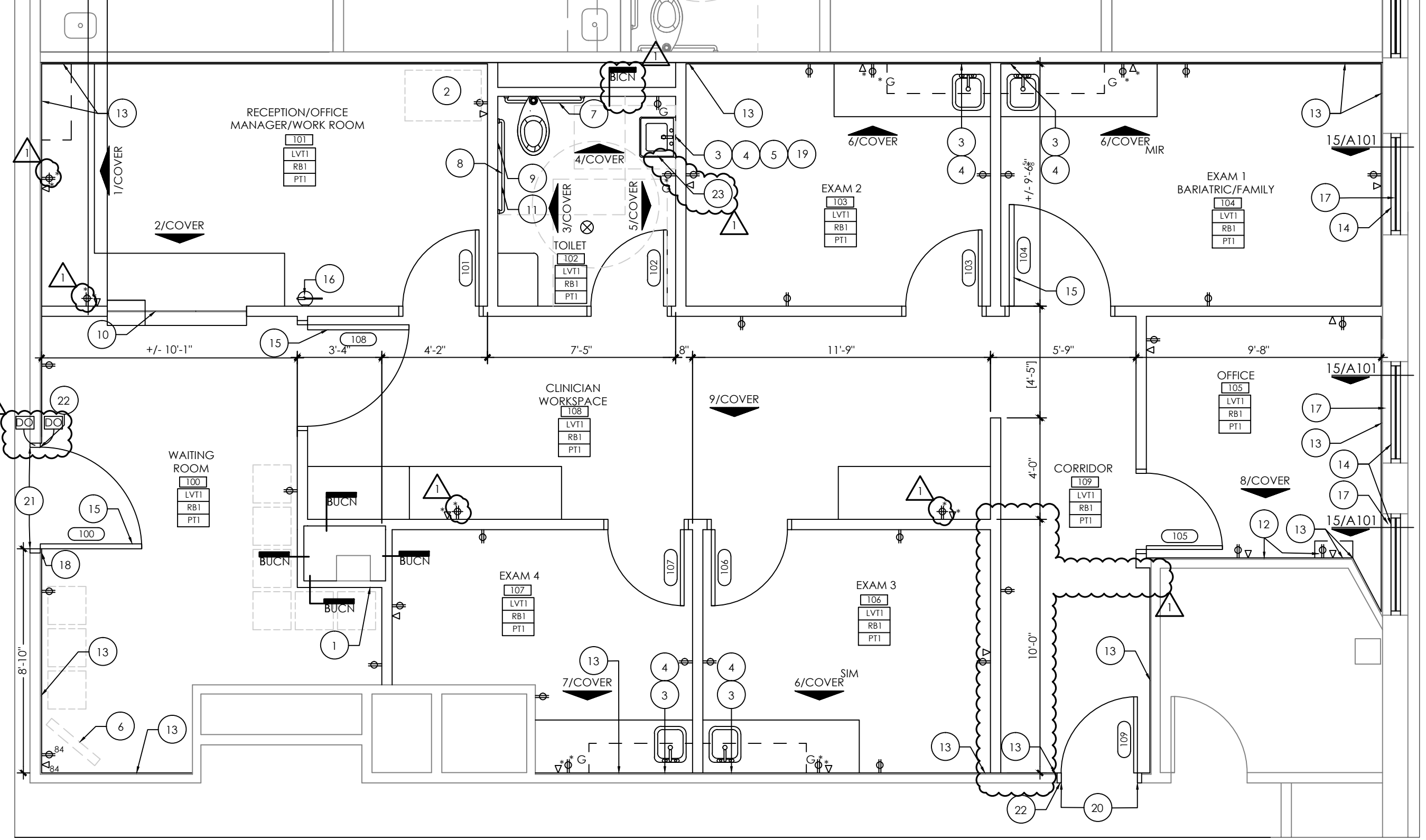
1. ALL CEILINGS TO BE 8'-0" UNLESS NOTED OTHERWISE.
2. LIGHT FIXTURES, SWITCHING, ETC ARE SHOWN FOR DESIGN INTENT ONLY.
3. HVAC SUPPLY DIFFUSERS, RETURN BOOTS, ZONES, ETC ARE SHOWN FOR DESIGN INTENT ONLY.

RCP NOTES:

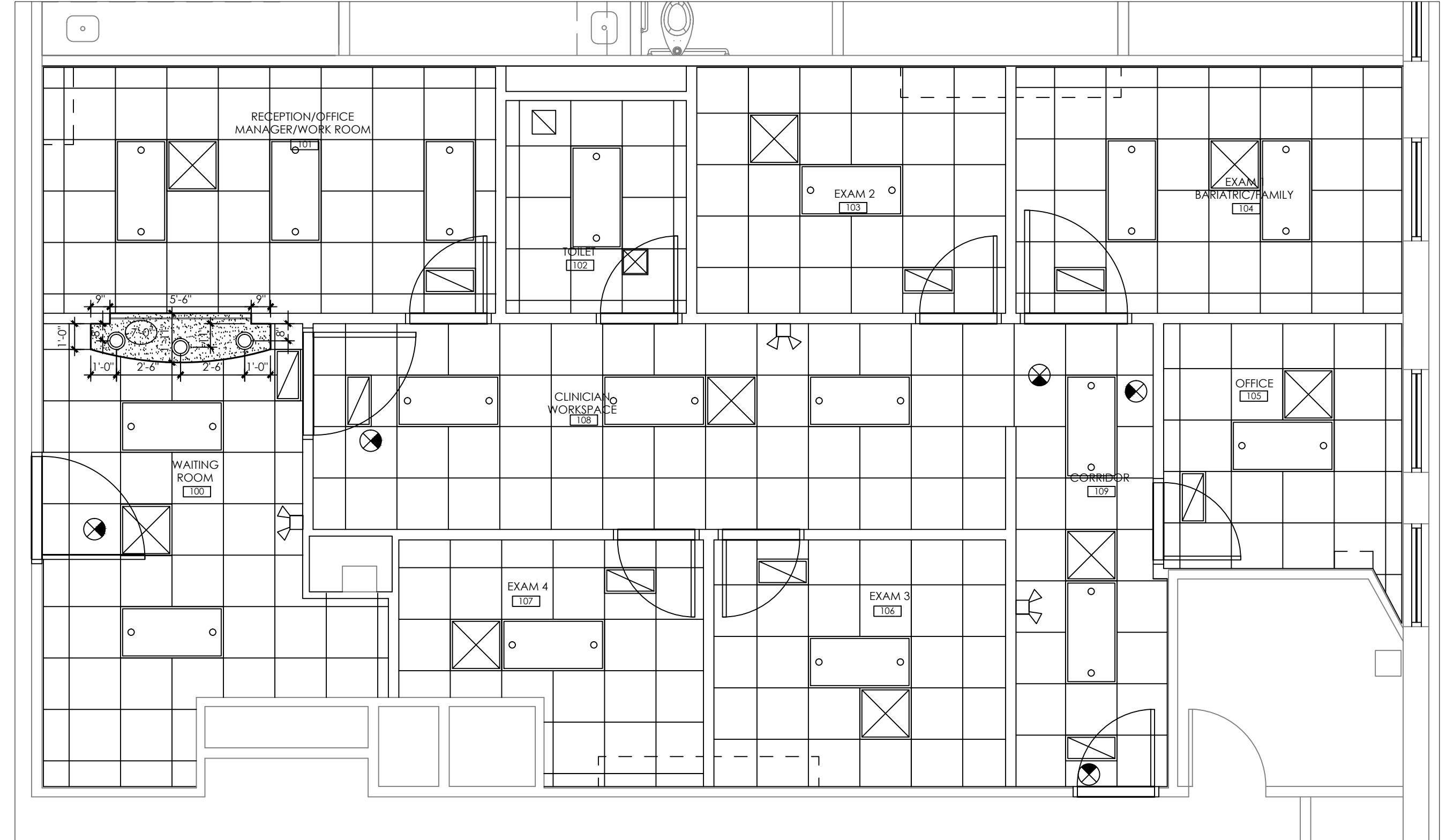
1 NOT USED



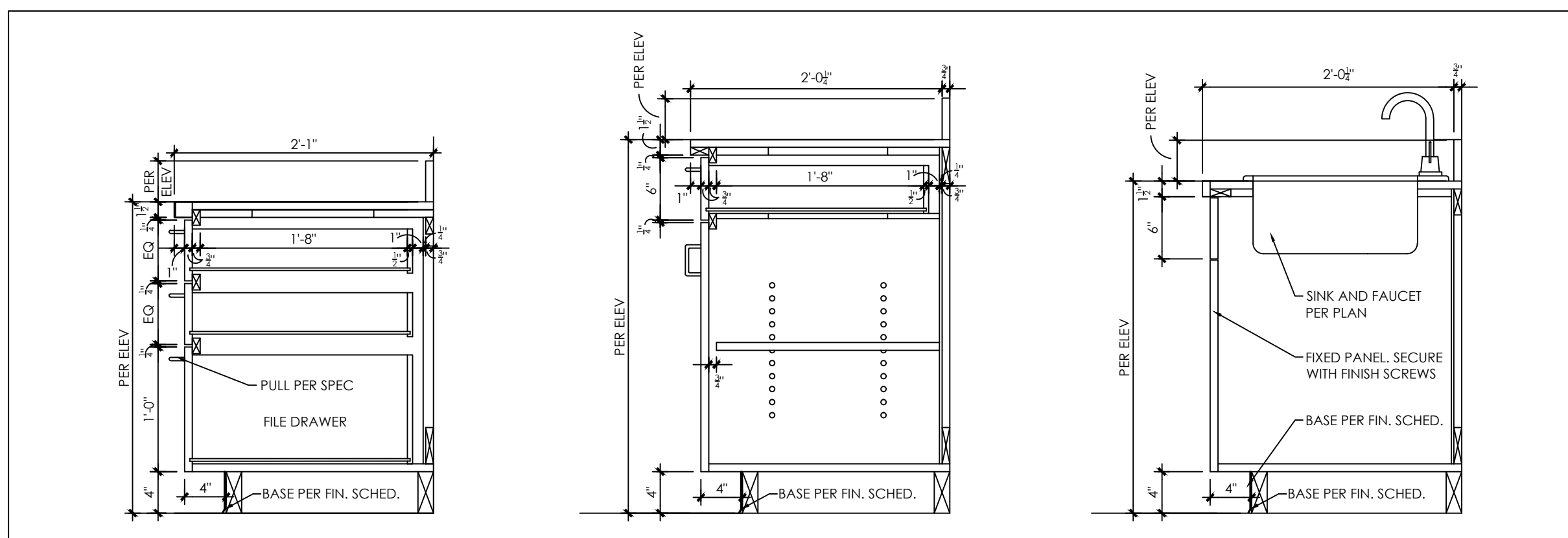
8 SECTION SCALE: 1" = 1'-0"
9 SECTION SCALE: 1" = 1'-0"
10 SECTION SCALE: 1" = 1'-0"
11 SECTION SCALE: 1" = 1'-0"
12 SECTION SCALE: 1" = 1'-0"
13 SECTION SCALE: 1" = 1'-0"
14 SECTION SCALE: 1" = 1'-0"



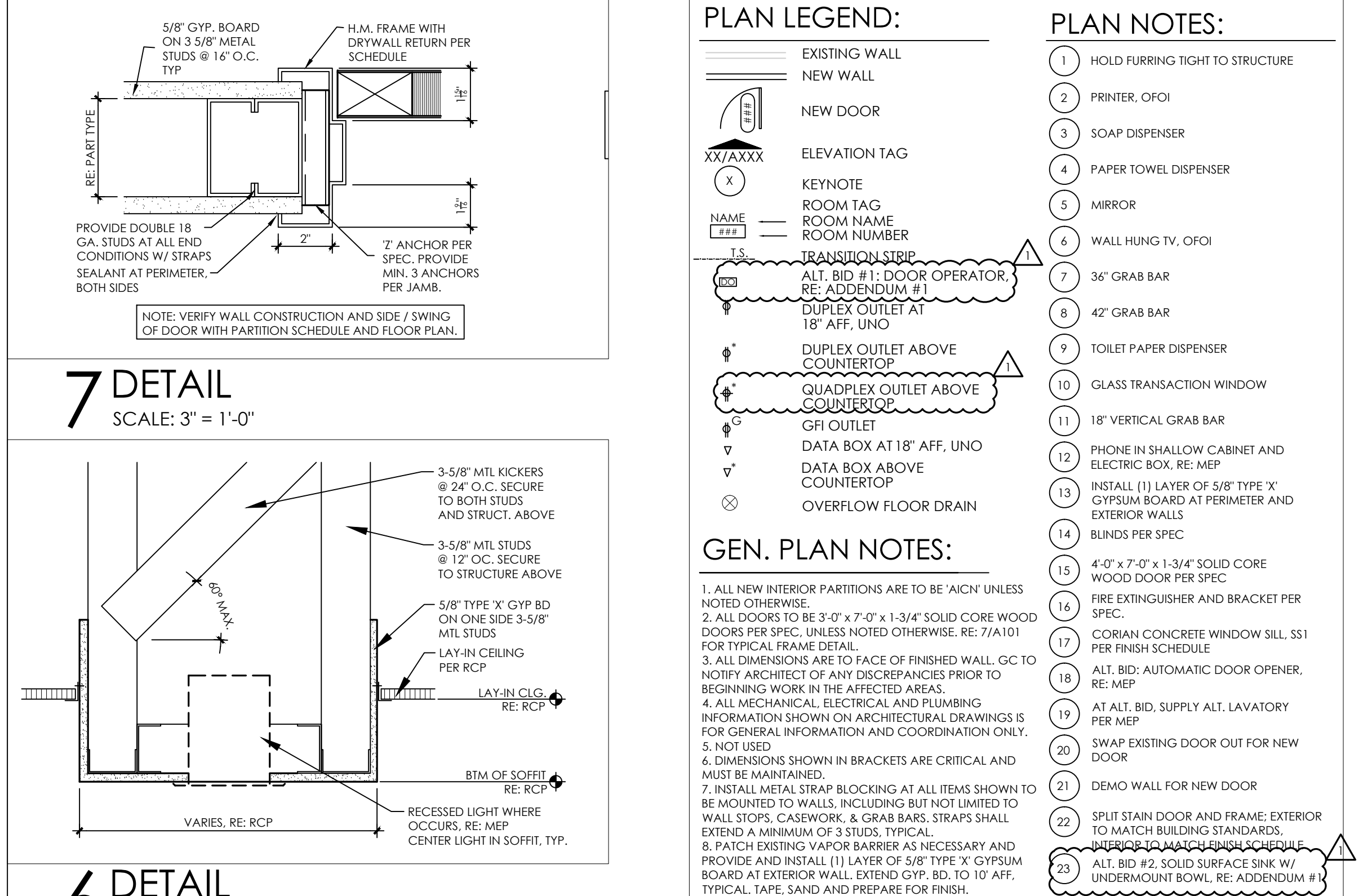
5 FLOOR PLAN SCALE: 1/4" = 1'-0"



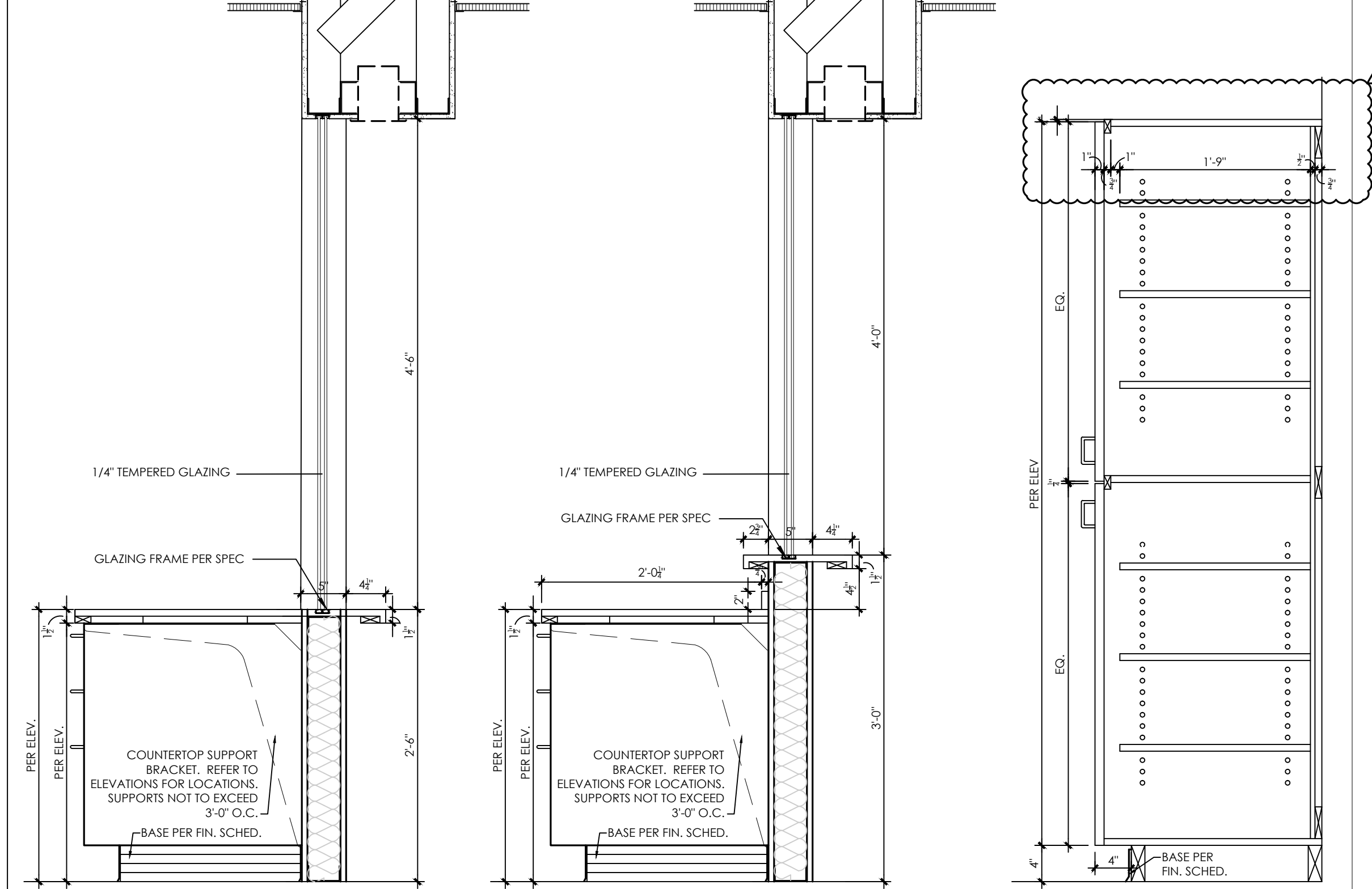
4 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"



1 SECTION SCALE: 1" = 1'-0"
2 SECTION SCALE: 1" = 1'-0"
3 SECTION SCALE: 1" = 1'-0"



7 DETAIL SCALE: 3" = 1'-0"



6 DETAIL SCALE: 1-1/2" = 1'-0"

PLAN LEGEND:

- EXISTING WALL
- NEW WALL
- NEW DOOR
- ELEVATION TAG
- KEYNOTE
- ROOM TAG
- ROOM NAME
- ROOM NUMBER
- TRANSITION STRIP
- ALT. BID #1: DOOR OPERATOR. RE: ADDENDUM #1
- DUPLEX OUTLET AT 18" AFF. UNO
- DUPLEX OUTLET ABOVE COUNTERTOP
- QUADPLEX OUTLET ABOVE COUNTERTOP
- GFI OUTLET
- DATA BOX AT 18" AFF. UNO
- DATA BOX ABOVE COUNTERTOP
- OVERFLOW FLOOR DRAIN

GEN. PLAN NOTES:

1. ALL NEW INTERIOR PARTITIONS ARE TO BE 'AICN' UNLESS NOTED OTHERWISE.
2. ALL DOORS TO BE 3'-0" x 7'-0" x 1-3/4" SOLID CORE WOOD DOORS PER SPEC. UNLESS NOTED OTHERWISE. RE: 7/A101 FOR TYPICAL FRAME DETAIL.
3. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL. GC TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK IN THE AFFECTED AREAS.
4. ALL MECHANICAL, ELECTRICAL AND PLUMBING INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR GENERAL INFORMATION AND COORDINATION ONLY.
5. NOT USED
6. DIMENSIONS SHOWN IN BRACKETS ARE CRITICAL AND MUST BE MAINTAINED.
7. INSTALL METAL STRIP BLOCKING AT ALL ITEMS SHOWN TO BE MOUNTED TO WALLS, INCLUDING BUT NOT LIMITED TO WALL STOPS, CASINGWORK, & GRAB BARS. STRIPS SHALL EXTEND A MINIMUM OF 3 STUDS. TYPICAL.
8. PATCH EXISTING VAPOR BARRIER AS NECESSARY AND PROVIDE AND INSTALL (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AT EXTERIOR WALL. EXTEND GYP. BD. TO 10" AFF. TYPICAL. TAPE, SAND AND PREPARE FOR FINISH.

PLAN NOTES:

- 1 HOLD FURRING TIGHT TO STRUCTURE
- 2 PRINTER, OFOI
- 3 SOAP DISPENSER
- 4 PAPER TOWEL DISPENSER
- 5 MIRROR
- 6 WALL HUNG TV, OFOI
- 7 36" GRAB BAR
- 8 42" GRAB BAR
- 9 TOILET PAPER DISPENSER
- 10 GLASS TRANSACTION WINDOW
- 11 18" VERTICAL GRAB BAR
- 12 PHONE IN SHALLOW CABINET AND ELECTRIC BOX. RE: MEP
- 13 INSTALL (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AT PERIMETER AND EXTERIOR WALLS
- 14 BLINDS PER SPEC
- 15 4'-0" x 7'-0" x 1-3/4" SOLID CORE WOOD DOOR PER SPEC
- 16 FIRE EXTINGUISHER AND BRACKET PER SPEC.
- 17 CORIAN CONCRETE WINDOW SILL, S51 PER FINISH SCHEDULE
- 18 ALT. BID: AUTOMATIC DOOR OPENER. RE: MEP
- 19 AT ALT. BID, SUPPLY ALT. LAVATORY PER MEP
- 20 SWAP EXISTING DOOR OUT FOR NEW DOOR
- 21 DEMO WALL FOR NEW DOOR
- 22 SPLIT STAIN DOOR AND FRAME: EXTERIOR TO MATCH BUILDING STANDARD.
- 23 ALT. BID #2: SOLID SURFACE SINK W/ UNDERMOUNT BOWL. RE: ADDENDUM #1

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A-2007007677

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A101
FLOOR AND REFLECTED
CEILING PLANS, SECTIONS
& DETAILS