



Inspection Report

Mr. Bob Builder

Property Address:
123 American Ct.
Somewhere FL 99999



Maverick Inspection Services, LLC

Table of Contents

[Cover Page](#)

[Table of Contents](#)

[Intro Page](#)

[1 Roofing](#)

[2 Exterior](#)

[3 Garage](#)

[4 Interiors](#)

[5 Structural Components](#)

[6 Plumbing System](#)

[7 Electrical System](#)

[8 Heating / Central Air Conditioning](#)

[9 Insulation and Ventilation](#)

[10 Built-In Kitchen Appliances](#)

[General Summary](#)

Sample Report

Date: 3/1/2014	Time: 10:00 AM	Report ID: Inspection - 3948
Property: 123 American Ct. Somewhere FL 99999	Customer: Mr. Bob Builder	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Standards of Practice::

InterNACHI FLORIDA (NACHI)
Certification Number: : NACHI07010304

In Attendance::

Customer's Agent, Customer

Type of building::

Single Family (1 story)

Approximate age of building::

30 Years
Year Built: : 1984

Temperature at the time of inspection::

Between 61 - 80 Degrees far.

Weather conditions at the time of inspection::

Clear

Ground/Soil surface condition::

Dry

Rain in last 3 days::

Yes

Sample Report

1. Roofing



Please Note: The home inspector shall: Observe the Roof coverings, Roof drainage systems, Flashing, Skylights, Chimneys, and Roof penetrations as well as signs of leaks or abnormal condensation on the building's roofing components. The home inspector shall also: Describe the type of roof covering materials and report the methods used to observe the roof. The home inspector is not required to: Walk on the roofing or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering:
3-Tab Fiberglass Shingles
Roll/Selvage

Viewed Roof Covering From:
Walked Roof Covering


Sky Light(s):
One

Chimney (exterior):
N/A

		IN	NI	NP	RR
1.0	ROOF COVERINGS	•			•
1.1	ROOF SKYLIGHTS, CHIMNEYS AND ADDITIONAL ROOF PENETRATIONS	•			
1.2	ROOF FLASHING	•			
1.3	ROOF EAVES, SOFFITS AND FASCIA	•			
1.4	ROOF DRAINAGE SYSTEMS	•			•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Sample Report

 1.0 (1)

- **(Deficiency): (Popped Nails)** Popped nails were found on the roof. These nails can over time allow moisture intrusion around the nail head and cause wood rot to the roof decking beneath. Make sure all popped nails are hammered back in and cover all exposed nails with a roofing tar to prevent moisture issues from developing.
- **(Deficiency): (Decking Wood Rot)** Upon inspecting the roof covering by walking the roof, an area of decking to the left of the front door was found to have issues. This area was identified by visibly identifying areas of sagging roof deck as well as walking over areas that cracked or bent as they were met with pressure. The main roof area affected was found on the front elevation by the front door. See the attached video.



1.0 Picture 1



1.0 Picture 2



1.0 Picture 3



1.0 Picture 4



1.0 Picture 5



1.0 Picture 6




1.0 Picture 7



1.0 Picture 8

Sample Report

1.0 Picture 9

 1.0 (2)

- **(Deficiency): (Decking Wood Rot)** Upon inspecting the roof covering by walking the roof, a few areas were found to have wood rot. These areas were identified by visibly identifying areas of sagging roof deck as well as walking over areas that cracked or bent as they were met with pressure. The main roof area affected was found on the rear elevation flat roof. See attached video. (Picture 10)
- **(Deficiency): (Flat Roof - Ponding)** Upon inspecting the flat area roof covering, a few areas were found to show ponding of water after rains. These areas are susceptible to moisture intrusion and should be repaired immediately. This area also had recent repairs. We recommend budgeting for a new flat roof in the near future.



1.0 Picture 10

1.0 Picture 11

Sample Report

1.3

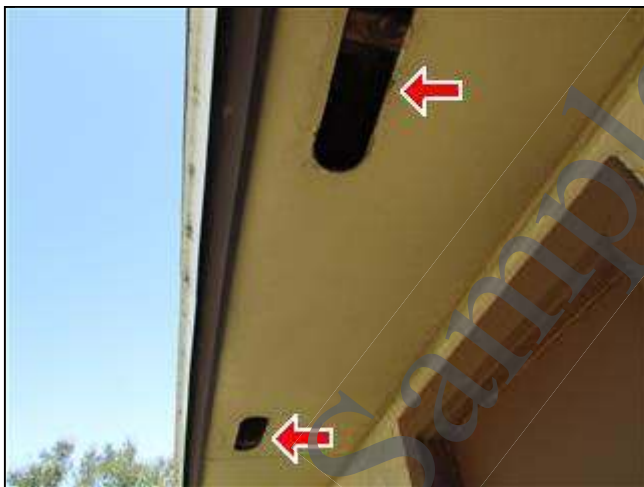
- **(Deficiency):** Upon inspecting the roof, evidence of past leaks along the drip edge were present around the fascia board. Some areas of the fascia and soffit also showed evidence of sagging. Budget for repairing these deficiencies.
- **(Deficiency):** Upon inspecting the soffits around the home, several areas were found to be damaged around the vent openings. These should be screened to protect the home from pests. This damage is most often due to rodents or bats. We recommend repairing these to keep insects and pests at bay.



1.3 Picture 1



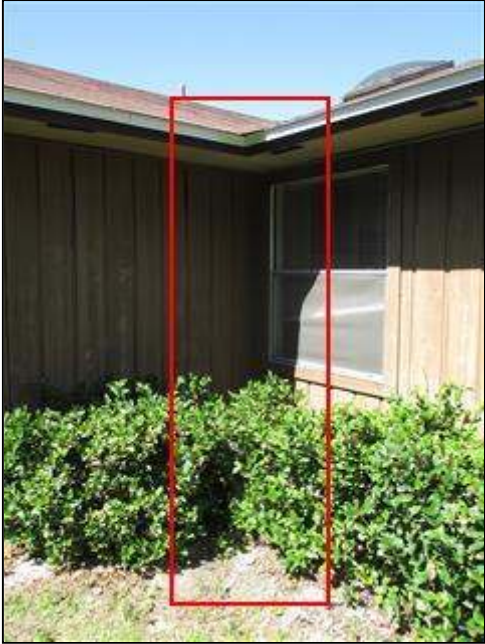
1.3 Picture 2



1.3 Picture 3

 1.4

- **(Deficiency):** Gutters and drain lines are recommended to prevent soil erosion or water intrusion from occurring. Install these as needed. Consult with a qualified professional.



1.4 Picture 1



1.4 Picture 2



1.4 Picture 3



1.4 Picture 4

The roof of the home was inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings, roof penetrations and skylights can appear to be leak free during our inspection and during dry and clear weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

2. Exterior



Please Note: The home inspector shall: Observe the wall cladding, flashing, and trim, entryway doors and a representative number of windows, garage door operators, decks, balconies, stoops, steps, areaways, porches and applicable railings, vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials, operate all entryway doors and a representative number of windows, garage doors (either manually or by using permanently installed controls for any garage door operator), report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing, and probe exterior wood components where deterioration is suspected. The home inspector is not required to: Observe storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories, fences, presence of safety glazing in doors and windows, garage door operator remote control transmitters, geological conditions, soil conditions, recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities), detached buildings or structures, or presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or any object or debris that obstructs access or visibility.

Styles & Materials

Exterior Siding Styles:

Cement stucco
Drop

Exterior Siding Materials:

Stucco
Wood

Exterior Entry Doors:

Wood

Appurtenance:

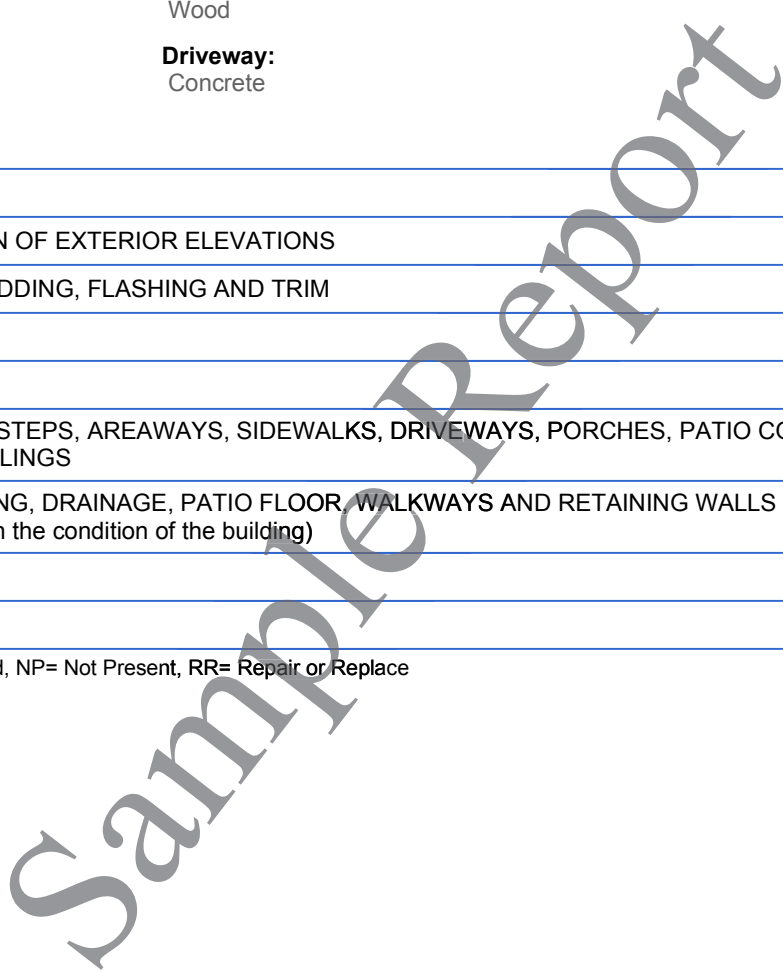
Covered porch
Sidewalk
Patio

Driveway:

Concrete

		IN	NI	NP	RR
2.0	VIEW AND CONDITION OF EXTERIOR ELEVATIONS	•			
2.1	EXTERIOR WALL CLADDING, FLASHING AND TRIM	•			•
2.2	EXTERIOR DOORS	•			
2.3	EXTERIOR WINDOWS	•			
2.4	DECKS, BALCONIES, STEPS, AREAWAYS, SIDEWALKS, DRIVEWAYS, PORCHES, PATIO COVER AND APPLICABLE RAILINGS	•			
2.5	VEGETATION, GRADING, DRAINAGE, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)	•			•
2.6	CRAWLSPACE			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:

2.0

- **(Observation):** View of the exterior elevations at the time of inspection.



2.0 Picture 1



2.0 Picture 2



2.0 Picture 3



2.0 Picture 4



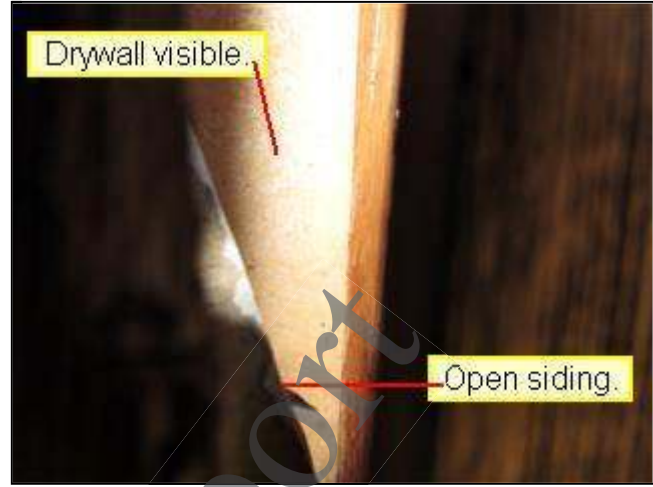
2.0 Picture 5

2.1 (1)

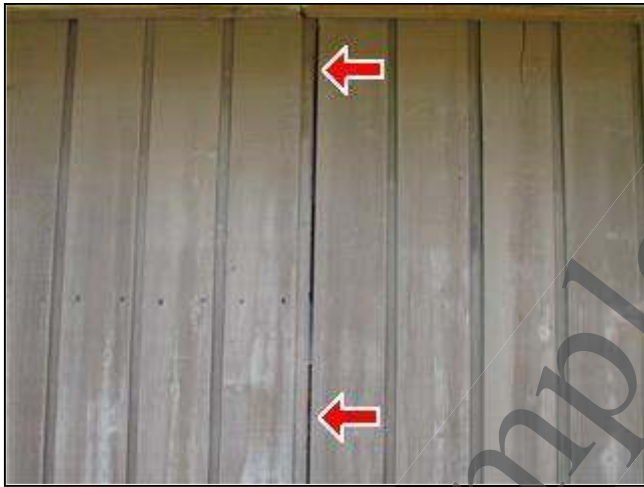
- **(Deficiency):** Upon inspecting the home, several panels of siding around the garage were found to be damaged and exposing garage interior walls and framing. Consult a licensed contractor to budget for these repairs.



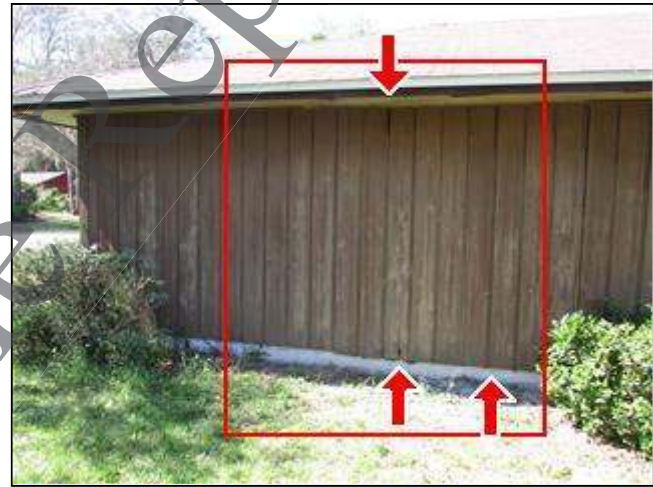
2.1 Picture 1



2.1 Picture 2



2.1 Picture 3




2.1 Picture 4



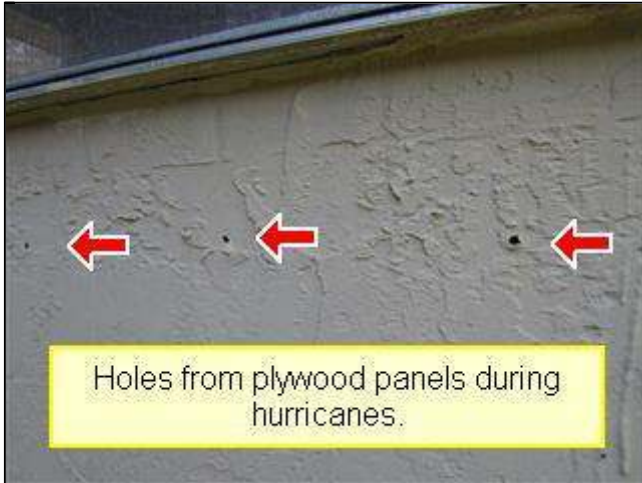
2.1 Picture 5



2.1 Picture 6

 2.1 (2)

- **(Deficiency): (Step / Stucco Cracks)** Upon inspecting the home, several exterior step cracks were noticed. This cracking is due to settlement over the first few years of a home's construction as well as inadequate or insufficient stucco material being used on the buildings exterior masonry walls. To repair, seal all exterior cracks with an elastimeric silicone to prevent the possibility of moisture intrusion in the future. Holes were also found due to plywood panels from hurricanes. Repaint the exterior walls as needed with an elastimeric paint. Consult a licensed contractor to budget for these repairs.



2.1 Picture 7



2.1 Picture 8



2.1 Picture 9



2.1 Picture 10

 2.5

- **(Deficiency):
(Vegetation
Overgrown)**
Vegetation was found coming into contact with the building. This could either allow for pest issues to develop, moisture issues to develop or damage to the building. We recommend cutting back all vegetation to prevent any of these types of issues.



2.5 Picture 1

The exterior of the home was inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, and other unforeseen issues.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

Sample Report

3. Garage

Please Note: The home inspector shall: Observe the walls entryway doors and a representative number of windows, garage door operators, stoops, steps with respect to their effect on the condition of the building. The home inspector shall: Operate all entryway doors and a representative number of windows, garage doors (either manually or by using permanently installed controls for any garage door operator), report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing, and probe interior wood components where deterioration is suspected. The home inspector is not required to: Observe storm doors, screens, shutters, awnings, and similar seasonal accessories or garage door operator remote control transmitters. The home inspector is not required to: Move personal items, panels, furniture, equipment, vehicles, tools or any object, material or debris that obstructs access or visibility.

Styles & Materials

Garage Door Type:
One automatic

Garage Door Material:
Light inserts
Metal

		IN	NI	NP	RR
3.0	GARAGE CEILINGS	•			
3.1	GARAGE WALLS (INCLUDING FIREWALL SEPARATION)	•			•
3.2	GARAGE FLOOR	•			
3.3	GARAGE DOOR (S)	•			
3.4	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)	•			
		IN	NI	NP	RR

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Sample Report

Comments:

3.1

- **(Observation):** The back walls in the garage of the home showed signs of past moisture issues due to missing siding or exposed openings in the siding. Repair as needed.
- **(Deficiency): (Active water issues):** Active waste water intrusion was found to the garage left wall coming from the master bathroom toilet. Further evaluation by a licensed mold assessor is required. Budget on these repairs.



3.1 Picture 1



3.1 Picture 2



3.1 Picture 3



3.1 Picture 4



3.1 Picture 5



3.1 Picture 6



4. Interiors

Please Note: The home inspector shall: Observe walls, ceiling, and floors, steps, stairways, balconies, and railings, counters and a representative number of installed cabinets, as well as a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors and report any visual signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Observe paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors, carpeting, draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Tile
Carpet
Linoleum

Interior Doors:

Hollow core
Wood

Window Types:

Single-hung

Cabinetry:

Wood

Countertop:

Laminate

		IN	NI	NP	RR
4.0	VIEW AND CONDITION OF INTERIOR ROOMS	•			
4.1	CEILINGS	•			
4.2	WALLS	•			•
4.3	FLOORS	•			
4.4	STEPS, STAIRWAYS, BALCONIES AND RAILINGS	•			
4.5	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS	•			
4.6	DOORS CONDITION	•			
4.7	WINDOWS CONDITION	•			
		IN	NI	NP	RR

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Comments:

4.0

- **(Observation):** A view of the interior rooms of the home at the time of inspection.



4.0 Picture 1



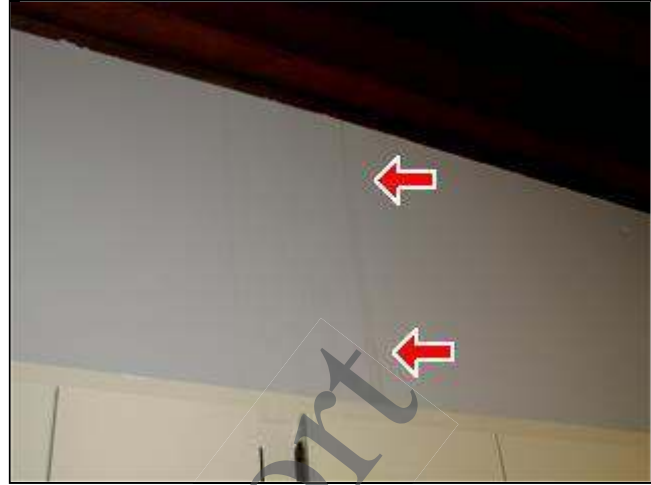
4.0 Picture 2

4.1

- **(Observation):** Evidence of a past leak was found on the first floor ceiling under a bathroom. No moisture was found in this area at the time of inspection.



4.1 Picture 1



4.1 Picture 2

4.2 (1)

- **(Deficiency):** Upon inspecting the shower stalls and bath tub walls it was noticed that the grout has cracks or has deteriorated in areas. Since these walls are met with moisture and condensation issues often, we recommend sealing these cracks by re-grouting the tile walls as needed. This task is usually considered as regular maintenance and is relatively simple. Make sure the tile does not bow or flex when met with pressure at the time of re-grouting to ensure no water intrusion or damage has developed behind the tile. Consult a qualified contractor.



4.2 Picture 1



4.2 Picture 2

4.2 (2)

- **(Observation):** This home has had repairs made to the drywall to the master bathroom. Evidence of active moisture was found to the back wall behind the cabinet as well as the toilet room. An active leak was found to the toilet base and was found running through to the garage wall. Possible evidence of microbial growth was present. We recommend further evaluation by a state licensed mold assessor to confirm and to supply what complete repair will entail. (See attached photos of active moisture in bathroom walls, floor and garage walls.)



4.2 Picture 3



4.2 Picture 4



4.2 Picture 5



4.2 Picture 6



4.2 Picture 7



4.2 Picture 8



4.2 Picture 9



4.2 Picture 10



4.2 Picture 11



4.2 Picture 12

The interior materials and condition of the home were inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to obstruction such as furniture, personal items and effects, and unforeseen issues and circumstances.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.



5. Structural Components

Please Note: The Home Inspector shall: Observe structural components including foundations, floors, walls, columns or piers, ceilings and roofs. The home inspector shall: Describe the type of foundation, floor structure, wall structure, columns or piers, ceiling structure and roof structure. The home inspector shall: Probe structural components where deterioration is suspected and enter under floor crawl spaces, basements, and attic spaces (except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected). The Home Inspector shall: Report the methods used to observe under floor crawl spaces and attics and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Foundation:
Poured concrete

Method used to observe Crawlspace:
No crawlspace

Floor Structure:
Slab

Wall Structure:
2 X 4 Wood

Ceiling Structure:
2X4

Roof Structure:
Engineered wood trusses

Roof-Type:
Hip

Method used to observe attic:
From entry
Walked

Attic info:
Attic access

		IN	NI	NP	RR
5.0	FOUNDATIONS, BASEMENTS AND CRAWLSPACES	•			
5.1	WALLS (Structural)	•			
5.2	COLUMNS OR PIERS			•	
5.3	FLOORS (Structural)	•			
5.4	CEILINGS (structural)	•			
5.5	ROOF STRUCTURE AND ATTIC	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Sample Report

Comments:

5.5

- **(Observation):** This home has at least one feature that qualifies it for home owners insurance discounts called wind credits. These wind credits allow for deductions in home owners insurance premiums due to their ability to harden and protect a home from high force winds or hurricane force winds. This report is called a Wind Mitigation Report, and is accepted by all insurance companies that write policies in Florida. For a report to provide to your insurance company to qualify for these savings, please contact us at 321-303-4338. or email us at inspector@maverickinspections.com. We are licensed and certified to provide you with this report.



5.5 Picture 1

The structural components of the home were inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, obstructions and other unforeseen issues.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.



6. Plumbing System

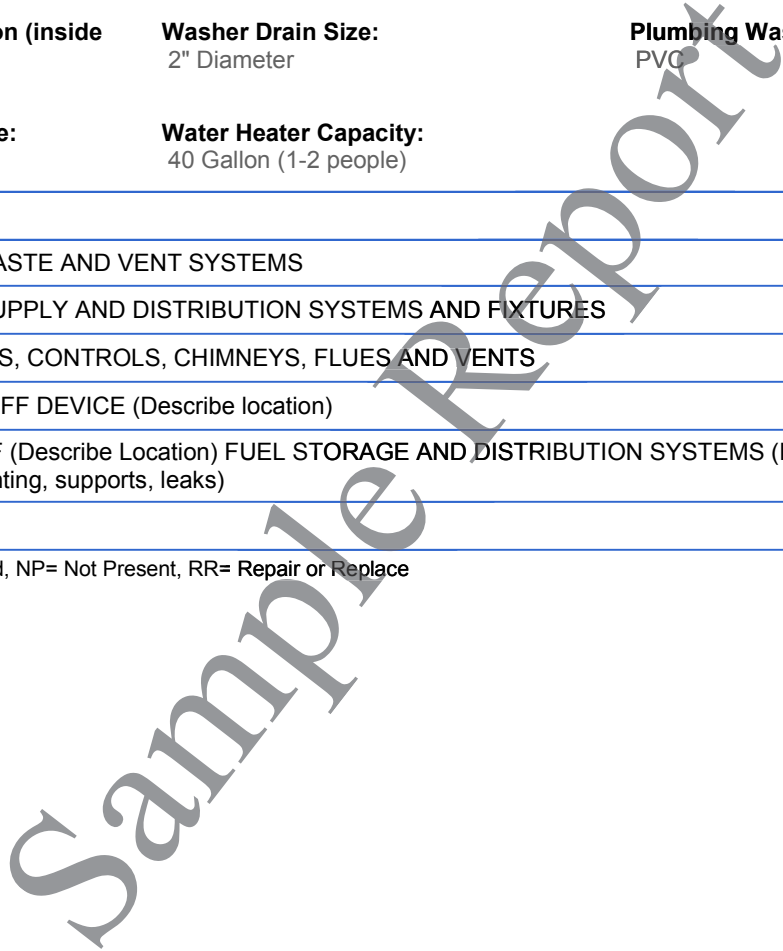
Please Note: The home inspector shall: Observe interior water supply and distribution systems including: piping materials, supports, and insulation, fixtures and faucets, functional flow, leaks, and cross connections. Interior drain, waste, and vent system, including: traps, drains, waste and vent piping, piping supports and pipe insulation, leaks and functional drainage. Hot water systems including: water heating equipment, normal operating controls, automatic safety controls, flues and vents. Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting and supports, leaks and sump pumps. The home inspector shall: Describe water supply and distribution piping materials, drains, waste and vent piping materials, water heating equipment, and location of main water supply shutoff device. The home inspector shall: Operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices, determine whether water supply and waste disposal systems are public or private, operate automatic safety controls, operate any valve except water closet flush valves, fixture faucets, and hose faucets, The home inspector is not required to: Observe water conditioning system, fire and lawn sprinkler systems, on-site water supply quantity and quality, on-site waste disposal systems (including septic tanks), foundation irrigation systems, spas, swimming pools, solar water heating equipment, or observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source: Public	Water Filters: None	Plumbing Water Supply (into home): CPVC
Plumbing Water Distribution (inside home): CPVC	Washer Drain Size: 2" Diameter	Plumbing Waste: PVC
Water Heater Power Source: Electric	Water Heater Capacity: 40 Gallon (1-2 people)	

		IN	NI	NP	RR
6.0	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
6.1	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•			•
6.2	HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS	•			
6.3	MAIN WATER SHUT-OFF DEVICE (Describe location)	•			
6.4	MAIN FUEL SHUT OFF (Describe Location) FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:**6.1 (1)**

- **(Observation):** The homes plumbing system has been updated. The majority of the hose bibs outside the home appear to be original. These hose bibs were not connected to the homes active plumbing. Budget for these repairs.



6.1 Picture 1



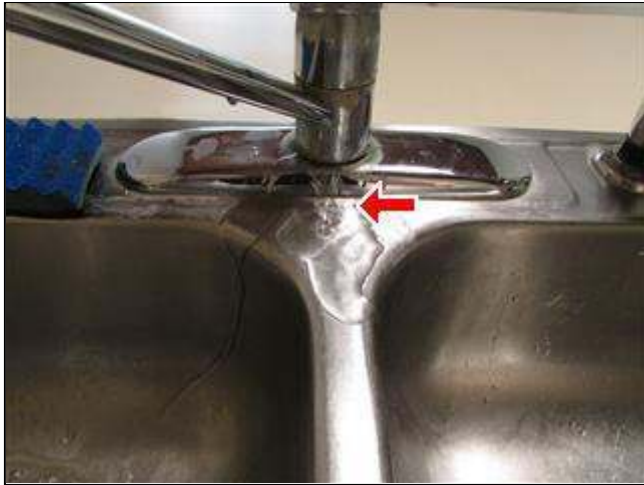
6.1 Picture 2



6.1 Picture 3

6.1 (2)

- **(Deficiency):** The kitchen sink was leaking. Repair this item at the faucet.
- **(Deficiency):** The toilet in the master bathroom was loose and not secured tightly to the floor. This has allowed water intrusion issues to develop around the flange and neighboring walls. We recommend carefully fastening the toilet down to the flange. This may require installing a new wax seal to prevent moisture issues with waste water. Consult a certified contractor for these repairs. Since the toilet has been leaking waste water, further evaluation by a licensed mold assessor is recommended.



6.1 Picture 4



6.1 Picture 5



6.1 Picture 6



6.1 Picture 7

6.2

- **(Observation):** View of the water heater at the time of inspection.



6.2 Picture 1



6.2 Picture 2

The plumbing system of the home were inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, obstructions and other unforeseen issues. Washing machine drain line, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

Sample Report

7. Electrical System



Please Note: The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:
Below ground

Panel capacity:
150 AMP

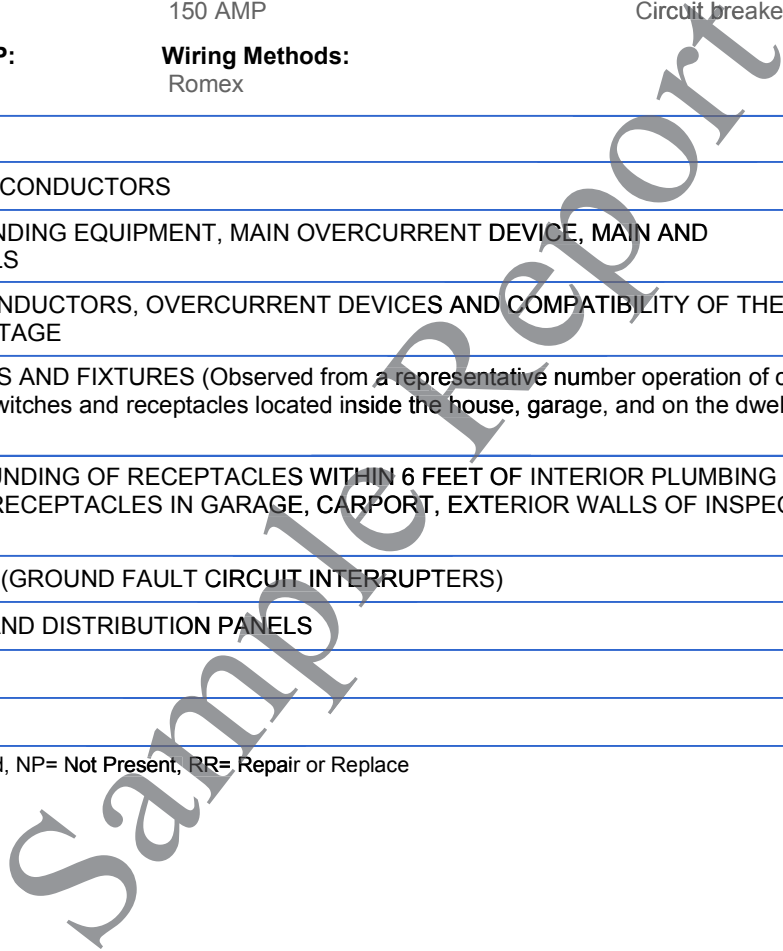
Panel Type:
Circuit breakers

Branch wire 15 and 20 AMP:
Copper

Wiring Methods:
Romex

		IN	NI	NP	RR
7.0	SERVICE ENTRANCE CONDUCTORS	•			
7.1	SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS	•			
7.2	BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE	•			
7.3	CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	•			
7.4	POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE	•			
7.5	OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)	•			•
7.6	LOCATION OF MAIN AND DISTRIBUTION PANELS	•			
7.7	SMOKE DETECTORS		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:**7.5**

- **(Deficiency):** The home has electrical outlets that are not GFCI protected. We recommend installing GFCI protected outlets to protect against shock wherever required. GFCI protected outlets are installed on all exterior outlets, garage outlets, laundry room, kitchen and bathroom outlets.



7.5 Picture 1



7.5 Picture 2

Sample Report

7.6

- **(Observation):** The main panel is located on the exterior elevation. The distribution panel is located in the garage.



7.6 Picture 1



7.6 Picture 2



7.6 Picture 3

The electrical system of the home was inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, obstructions and other unforeseen issues. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning



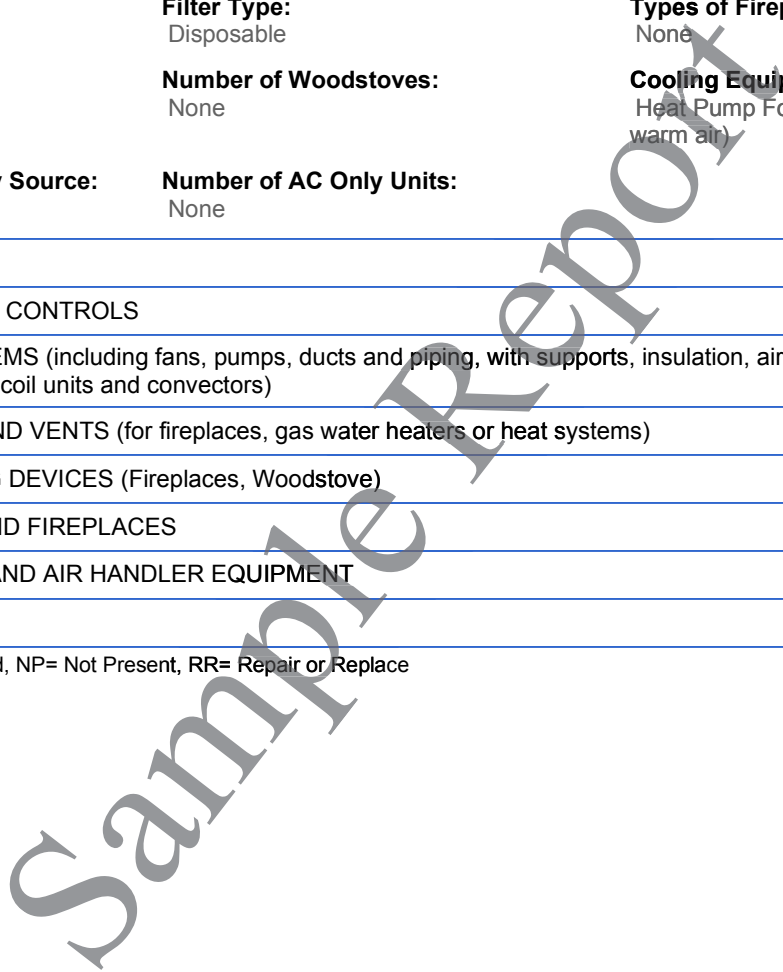
Please Note: The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Heat Type: Heat Pump Forced Air (also provides cool air)	Energy Source: Electric	Number of Heat Systems (excluding wood): One
Ductwork: Insulated	Filter Type: Disposable	Types of Fireplaces: None
Operable Fireplaces: None	Number of Woodstoves: None	Cooling Equipment Type: Heat Pump Forced Air (also provides warm air)
Cooling Equipment Energy Source: Electricity	Number of AC Only Units: None	

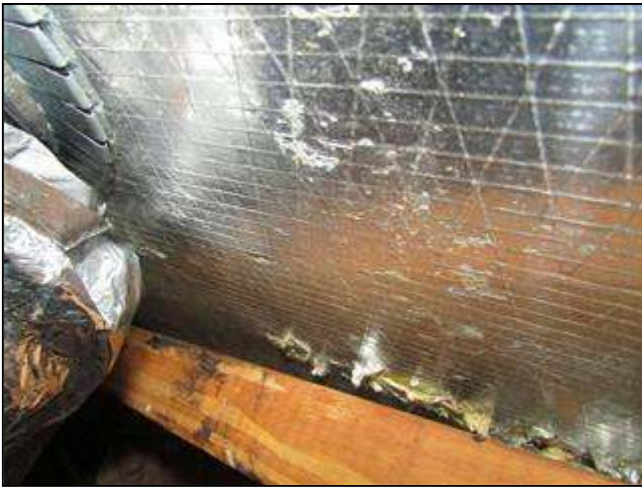
		IN	NI	NP	RR
8.0	NORMAL OPERATING CONTROLS	•			
8.1	DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			•
8.2	CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)			•	
8.3	SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)			•	
8.4	GAS/LP FIRELOGS AND FIREPLACES			•	
8.5	HEATING, COOLING AND AIR HANDLER EQUIPMENT	•			•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:**8.1**

- **(Deficiency): (Duct Leak)** A conditioned air leak was detected in the duct in the attic. Repair this item to prevent air loss and increase HVAC efficiency as well as energy savings.



8.1 Picture 1



8.1 Picture 2

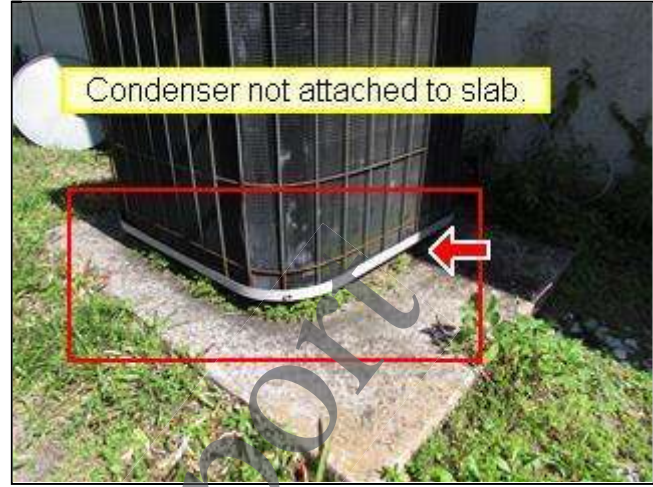
Sample Report

8.5

- **(Observation):** The air handler was inspected and was found functioning well at the time of inspection. The system is about 14 yrs. old. These systems typically have a life expectancy of about 15-20 yrs. when well maintained. The condenser was not attached to the slab it is placed on. The condenser was also missing insulation on the liquid lines. Repair these item. Cleaning and maintenance is recommended.



8.5 Picture 1



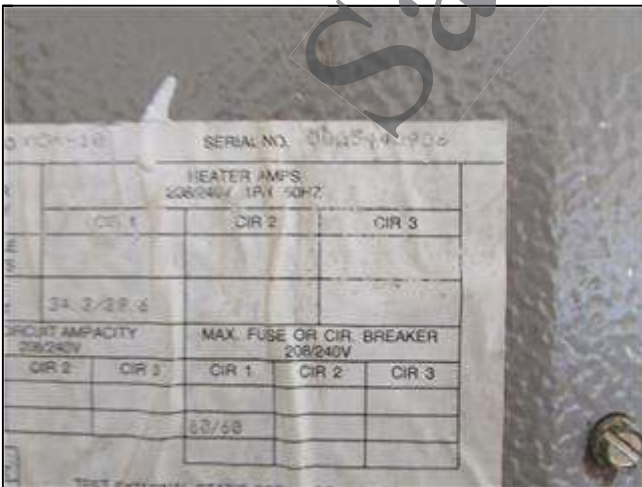
8.5 Picture 2



8.5 Picture 3



8.5 Picture 4



8.5 Picture 5



8.5 Picture 6



8.5 Picture 7



8.5 Picture 8



8.5 Picture 9



8.5 Picture 10

The heating and cooling system of this home was inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, obstructions and other unforeseen issues. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation



Please Note: The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

Batt
Fiberglass
Below
R-19

Ventilation:

Ridge vents
Soffit Vents

Exhaust Fans:

Fan with light

Dryer Power Source:

220 Electric

Dryer Vent:

Metal

Floor System Insulation:

NONE

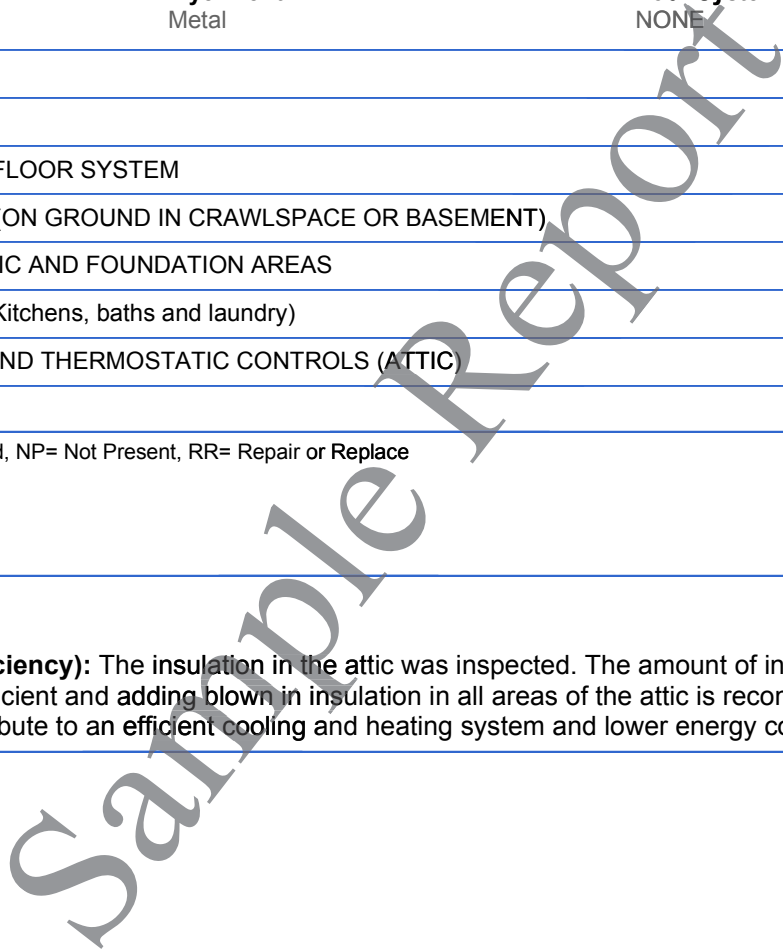
		IN	NI	NP	RR
9.0	INSULATION IN ATTIC	•			•
9.1	INSULATION UNDER FLOOR SYSTEM			•	
9.2	VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)			•	
9.3	VENTILATION OF ATTIC AND FOUNDATION AREAS	•			
9.4	VENTING SYSTEMS (Kitchens, baths and laundry)	•			•
9.5	VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

9.0

- **(Deficiency):** The insulation in the attic was inspected. The amount of insulation was found to be insufficient and adding blown in insulation in all areas of the attic is recommended. This will contribute to an efficient cooling and heating system and lower energy costs for the home.



 9.4

- **(Deficiency):** Upon inspecting the dryer ventilation, a build up of lint was found in the duct system. Lint was also found in the attic crawl space due to this build up. We recommend cleaning out the duct to ensure no blockage has developed in the duct and that the system is completely sealed and prevented from blowing lint further into the attic. Lint is flammable, so this is considered a fire hazard. Repair as soon as possible.



9.4 Picture 1



9.4 Picture 2

The insulation and ventilation of the home was inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to weather conditions, vegetation, obstructions and other unforeseen issues. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

Sample Report

10. Built-In Kitchen Appliances



Please Note: The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

		IN	NI	NP	RR
10.0	DISHWASHER	•			•
10.1	RANGES/OVENS/COOKTOPS	•			
10.2	RANGE HOOD			•	
10.3	TRASH COMPACTOR			•	
10.4	FOOD WASTE DISPOSER	•			
10.5	MICROWAVE COOKING EQUIPMENT			•	
10.6	REFRIGERATOR	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

10.0

- This appliance was inspected and was found not working efficiently at the time of inspection. Budget on repair or replacement.



10.0 Picture 1

10.1

- This appliance was inspected and was found in good working order at the time of inspection.



10.1 Picture 1

10.4

- This appliance was inspected and was found in good working order at the time of inspection.



10.4 Picture 1

10.6

- This appliance was inspected and was found in good working order at the time of inspection.



10.6 Picture 1

The built in appliances of the home were inspected and reported on with the above referenced information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed due to obstructions and other unforeseen issues.

Please also be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in further inspections or repair issues as it relates to the comments in this inspection report.

General Summary



P.O. Box 620508
Oviedo, FL 32762
321-303-4338

Customer
Mr. Bob Builder



Address
123 American Ct.
Somewhere FL 99999

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace


-  (1)
 - **(Deficiency): (Popped Nails)** Popped nails were found on the roof. These nails can over time allow moisture intrusion around the nail head and cause wood rot to the roof decking beneath. Make sure all popped nails are hammered back in and cover all exposed nails with a roofing tar to prevent moisture issues from developing.
 - **(Deficiency): (Decking Wood Rot)** Upon inspecting the roof covering by walking the roof, an area of decking to the left of the front door was found to have issues. This area was identified by visibly identifying areas of sagging roof deck as well as walking over areas that cracked or bent as they were met with pressure. The main roof area affected was found on the front elevation by the front door. See the attached video.
-  (2)

1. Roofing

- **(Deficiency): (Decking Wood Rot)** Upon inspecting the roof covering by walking the roof, a few areas were found to have wood rot. These areas were identified by visibly identifying areas of sagging roof deck as well as walking over areas that cracked or bent as they were met with pressure. The main roof area affected was found on the rear elevation flat roof. See attached video. (Picture 10)
- **(Deficiency): (Flat Roof - Ponding)** Upon inspecting the flat area roof covering, a few areas were found to show ponding of water after rains. These areas are susceptible to moisture intrusion and should be repaired immediately. This area also had recent repairs. We recommend budgeting for a new flat roof in the near future.

1.4 ROOF DRAINAGE SYSTEMS



Inspected, Repair or Replace

-  • **(Deficiency):** Gutters and drain lines are recommended to prevent soil erosion or water intrusion from occurring. Install these as needed. Consult with a qualified professional.

2. Exterior


2.1 EXTERIOR WALL CLADDING, FLASHING AND TRIM

Inspected, Repair or Replace

-  (1)
 - **(Deficiency):** Upon inspecting the home, several panels of siding around the garage were found to be damaged and exposing garage interior walls and framing. Consult a licensed contractor to budget for these repairs.
-  (2)
 - **(Deficiency): (Step / Stucco Cracks)** Upon inspecting the home, several exterior step cracks were noticed. This cracking is due to settlement over the first few years of a home's construction as well as inadequate or insufficient stucco material being used on the buildings exterior masonry walls. To repair, seal all exterior cracks with an elastimeric silicone to prevent the possibility of moisture intrusion in the future. Holes were also found due to plywood panels from hurricanes. Repaint the exterior walls as needed with an elastimeric paint. Consult a licensed contractor to budget for these repairs.

2.5 VEGETATION, GRADING, DRAINAGE, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)


Inspected, Repair or Replace

-  • **(Deficiency): (Vegetation Overgrown)** Vegetation was found coming into contact with the building. This could either allow for pest issues to develop, moisture issues to develop or damage to the building. We recommend cutting back all vegetation to prevent any of these types of issues.

3. Garage

3.1 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Inspected, Repair or Replace

-  • **(Observation):** The back walls in the garage of the home showed signs of past moisture issues due to missing siding or exposed openings in the siding. Repair as needed.
- **(Deficiency): (Active water issues):** Active waste water intrusion was found to the garage left wall coming from the master bathroom toilet. Further evaluation by a licensed mold assessor is required. Budget on these repairs.

4. Interiors

4.2 WALLS

4. Interiors



Inspected, Repair or Replace



(1)

- **(Deficiency):** Upon inspecting the shower stalls and bath tub walls it was noticed that the grout has cracks or has deteriorated in areas. Since these walls are met with moisture and condensation issues often, we recommend sealing these cracks by re-grouting the tile walls as needed. This task is usually considered as regular maintenance and is relatively simple. Make sure the tile does not bow or flex when met with pressure at the time of re-grouting to ensure no water intrusion or damage has developed behind the tile. Consult a qualified contractor.

6. Plumbing System



6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace



(1)

- **(Observation):** The homes plumbing system has been updated. The majority of the hose bibs outside the home appear to be original. These hose bibs were not connected to the homes active plumbing. Budget for these repairs.

7. Electrical System



7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace



- **(Deficiency):** The home has electrical outlets that are not GFCI protected. We recommend installing GFCI protected outlets to protect against shock wherever required. GFCI protected outlets are installed on all exterior outlets, garage outlets, laundry room, kitchen and bathroom outlets.

8. Heating / Central Air Conditioning



8.1 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace



- **(Deficiency): (Duct Leak)** A conditioned air leak was detected in the duct in the attic. Repair this item to prevent air loss and increase HVAC efficiency as well as energy savings.

8.5 HEATING, COOLING AND AIR HANDLER EQUIPMENT

Inspected, Repair or Replace



- **(Observation):** The air handler was inspected and was found functioning well at the time of inspection. The system is about 14 yrs. old. These systems typically have a life expectancy of about 15-20 yrs. when well maintained. The condenser was not attached to the slab it is placed on. The condenser was also missing insulation on the liquid lines. Repair these item. Cleaning and maintenance is recommended.

9. Insulation and Ventilation



9.0 INSULATION IN ATTIC

Inspected, Repair or Replace



- **(Deficiency):** The insulation in the attic was inspected. The amount of insulation was found to be insufficient and adding blown in insulation in all areas of the attic is recommended. This will contribute to an efficient cooling and heating system and lower energy costs for the home.

9. Insulation and Ventilation



9.4 VENTING SYSTEMS (Kitchens, baths and laundry)

Inspected, Repair or Replace



- **(Deficiency):** Upon inspecting the dryer ventilation, a build up of lint was found in the duct system. Lint was also found in the attic crawl space due to this build up. We recommend cleaning out the duct to ensure no blockage has developed in the duct and that the system is completely sealed and prevented from blowing lint further into the attic. Lint is flammable, so this is considered a fire hazard. Repair as soon as possible.

10. Built-In Kitchen Appliances



10.0 DISHWASHER

Inspected, Repair or Replace



- This appliance was inspected and was found not working efficiently at the time of inspection. Budget on repair or replacement.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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